

**FIRST AMENDMENT OF CONSTRUCTION MANAGER SERVICES AGREEMENT
FOR PHASE 2 – CONSTRUCTION SERVICES**

THIS FIRST AMENDMENT to the Construction Manager Services Agreement dated **January 9, 2019**, is made and entered into by and between Lee County, a political subdivision and charter County of the State of Florida, acting by and through its Board of County Commissioners (Owner); and **O-A-K/Florida, Inc. dba Owen-Ames-Kimball Company**, a Florida corporation, duly licensed to conduct business in the State of Florida (the "Construction Manager" or "CM"), collectively, the "Parties".

RECITALS

WHEREAS, the County desired to construct the **Libraries ADA Upgrade** Project (the "Project") within Lee County, Florida; and,

WHEREAS, the CM and the County entered into Construction Manager Services Agreement dated **January 9, 2019** ("Agreement") according to the selection of the CMAR pursuant to **Competitive Negotiations No. CN180033TJM**; and,

WHEREAS, the CM and the Owner completed Pre-Construction Services for the Project; and,

WHEREAS, Section 3.01 CM's Compensation of the Construction Manager Services Agreement provides that the Guaranteed Maximum Price ("GMP") for construction of the Project will be established in a separate amendment to the Agreement; and,

WHEREAS, Section 3.02 The Project; Changes in the Project; Additional Fee of the Construction Manager Services Agreement provides that the CM is entitled to an additional fee if the Owner increases the GMP; and

WHEREAS, Section 3.03 Period of Construction; Additional Fee of the Construction Manager Services Agreement provided that the number of calendar days for the period of construction to substantial completion and the number of calendar days to final completion are to be established by amendment to the Agreement, and that the First Construction GMP payment and the subsequent monthly installments shall be determined after the GMP has been established; and

WHEREAS, Section 4.06 Project Schedule; Substantial Completion; Occupancy, Subsection (1) Establishment of Substantial Completion Date of the Construction Manager Services Agreement, provides that Liquidated Damages will be established by amendment to the Agreement; and

WHEREAS, except as is specifically amended or modified herein, all of the terms and conditions of the Agreement for the Project are hereby ratified and confirmed, and

shall remain in full force and effect.

OPERATIVE PROVISIONS

NOW THEREFORE, for and in consideration of the mutual covenants and agreements set forth herein, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the County and the CM, intending to be legally bound, covenant and agree as follows:

1. **Recitals.** The recitals set forth above are true and correct and incorporated herein as if set forth below.
2. **CM's Compensation.** The Parties hereby agree that the last sentence of Section 3.01 CM's Compensation is replaced in its entirety as follows:

The CM fee for Construction Services shall be **\$41,439.91.**

3. **Establishment of Guaranteed Maximum Price.** The Parties hereby agree that the GMP for construction of the Project shall be **\$723,655.11.** In no event shall the cost of construction of the Project and the CM's Fee exceed the GMP, as adjusted by any County approved change orders.
4. **Establishment of Period of Construction.** The Parties hereby agree that the first paragraph of Section 3.03 Period of Construction; Additional Fee is replaced in its entirety as follows:

Owner, AE and CM expect and believe that the period of construction or construction phase for the Project shall be **One Hundred and Fifty (150)** calendar days to substantial completion and **Thirty (30)** calendar days to final completion from issuance of the Notice to Proceed. No work shall take place under this Amendment until the date specified in the Construction Phase Notice to Proceed.

5. **Liquidated Damages.** Under Section 4.06 Project Schedule; Substantial Completion; Occupancy, Subsection (1) Establishment of Substantial Completion Date, the Parties hereby agree that the amount of liquidated damages the CM shall be assessed is **\$1,500.00 per calendar day** for each day completion is extended beyond the Project substantial completion date.
6. **Contract Documents.** The Construction Manager shall perform the services for the amount stated above in strict accordance with the following documents, all of which are attached hereto and incorporated by reference:

6.1 Exhibit A – Letter Dated **May 23, 2019**, Establishing the GMP and Schedule of Values from **O-A-K/Florida, Inc. dba Owen-Ames-Kimball Company**

- 6.2 Exhibit B – **ADA Improvements to Lee County Cape Coral Library**
- 6.3 Exhibit C – **ADA Improvements to Lee County Dunbar Jupiter Hammon
Library**
- 6.4 Exhibit D – **ADA Improvements to Fort Myers Regional Library**
- 6.5 Exhibit E – **ADA Improvements to Lee County Library Administration**
- 6.6 Exhibit F – **ADA Improvements to Northwest Regional Library**
- 6.7 Exhibit G – **ADA Improvements to Lee County South Library**

7. **Effective Date.** This Amendment shall become effective on the date it is approved by the Lee County Board of County Commissioners.

[The remainder of this page intentionally left blank.]

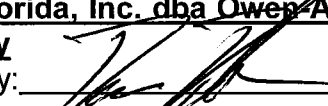
IN WITNESS WHEREOF, the parties have made and executed this Amendment on the day and year of the last signature below.

WITNESS:

Signed By: 

Print Name: Alesha Waterhouse

O-A-K/Florida, Inc. dba Owen Ames-Kimball Company

Signed By: 

Print Name: David J. Dale

Title: President

Date: 5/24/19

**BOARD OF COUNTY COMMISSIONERS
OF LEE COUNTY, FLORIDA**

BY: _____
CHAIR

DATE: _____

ATTEST:
CLERK OF THE CIRCUIT COURT
Linda Doggett, Clerk

BY: _____

APPROVED AS TO FORM FOR THE
RELIANCE OF LEE COUNTY ONLY:

BY: _____
OFFICE OF THE COUNTY ATTORNEY

EXHIBIT A- GMP & SCHEDULE OF VALUES



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

5/23/19

Department of Facilities Construction and Management
1300 Monroe Street, 4th Floor
Fort Myers, Florida 33901
Attn: Mr. David Pinheiro

RE: Libraries ADA Upgrade

Dear Mr. Pinheiro,

It is our pleasure to provide this Guaranteed Maximum Price (GMP) report for the Libraries ADA Upgrade project for the cost of work plus fee, not to exceed SEVEN HUNDRED TWENTY-THREE THOUSAND SIX HUNDRED FIFTY-FIVE DOLLARS AND ELEVEN CENTS (\$723,655.11). Our proposal is based on the 100% Construction Documents drawings dated 3/19/19 provided by RG Architects.

A summary of costs is as follows:

LIBRARIES ADA UPGRADE		
Project Job Costs		\$469,832.00
Contingency		\$48,583.20
P&P Bond		\$16,000.00
Builder's Risk Insurance		N/A
	Subtotal	\$534,415.20
CM Fee		\$41,439.91
General Conditions		\$147,800.00

We appreciate and look forward to this opportunity to complete the Libraries ADA Upgrade.

Respectfully,

David J. Dale
President
Owen-Ames-Kimball Company

cc: Alesha Watchowski, File

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Cape Coral Library – ADA Renovations

Bid Package Name: Selective Demolition

Vendor Name	Base Bid			
Southwest Builders	5591		Standard working hours	
Wildcat	NO BID			
Olds	NO BID			

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Cape Coral Library – ADA Renovations

Bid Package Name: Carpentry

Vendor Name	Base Bid	Cabinetry	Install Accessories	Bathroom Partitions	Blocking
Viking	2400	Excluded	Included	Excluded	Excluded
Integrity	4625	Included	Included	Included	Included
Bunting	NO BID				

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Cape Coral Library – ADA Renovations

Bid Package Name: Drywall/Framing

Vendor Name	Base Bid		
R&D	8020		
Ford Drywall	NO BID		
Ponce De Leon	NO BID		
Lee Drywall	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Cape Coral Library – ADA Renovations

Bid Package Name: Painting

Vendor Name	Base Bid		
Jamestown	3775		
Service Contracting	NO BID		
Steve's Painting	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Cape Coral Library – ADA Renovations

Bid Package Name: Flooring/Wall Tile

Vendor Name	Base Bid		
Wallpaper World	8032		Standard working hours
Acousti	NO BID		
Wayne Wiles	NO BID		
Studio Plus	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Cape Coral Library – ADA Renovations

Bid Package Name: Acoustical Ceiling

Vendor Name	Base Bid		
Rice Insulation	1000		
Acousti	NO BID		
West Coast Insulation	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Cape Coral Library – ADA Renovations

Bid Package Name: Plumbing

Vendor Name	Base Bid	Premium Time	Phasing
B&I	18,750	excluded	Included
Aristocrat	26,976	E	E
Coastline Plumbing	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Cape Coral Library – ADA Renovations

Bid Package Name: Electrical

Vendor Name	Base Bid		
Baja Electric	2500		Standard working hours
Wentco	NO BID		
Nauti Electric	NO BID		
B&I	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Dunbar Library – ADA Renovations

Bid Package Name: Selective Demolition

Vendor Name	Base Bid	Exterior Demo	
Southwest Builders	5738	I	Standard working hours
Wildcat	NO BID		
Olds	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Dunbar Library – ADA Renovations

Bid Package Name: Sitework

Vendor Name	Base Bid	Concrete	Demo existing concrete	Interior Pour Backs
Infinite	728	Included	Included	
PMI	14230	Included	Included	Excluded
R. Way	1,622.60	Included		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: _____ 4/10/19

Project: _____ Dunbar Library – ADA Renovations

Bid Package Name: _____ Carpentry

Vendor Name	Base Bid	Install Accessories	Bathroom Partitions	Blocking
Viking	3300	Included	Excluded	Included
Integrity	8650	Included	Included	Included
Bunting	NO BID			

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Dunbar Library – ADA Renovations

Bid Package Name: Cabinetry

Vendor Name	Base Bid	Phasing	Demo	
Adams	16,500			
Sahara	18,800	Included	Included	
Montgomery	11,425		Of reusable tops	

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Dunbar Library – ADA Renovations

Bid Package Name: Drywall/Framing

Vendor Name	Base Bid		
R&D	6780		
Ford Drywall	NO BID		
Ponce De Leon	NO BID		
Lee Drywall	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Dunbar Library – ADA Renovations

Bid Package Name: Painting

Vendor Name	Base Bid		
Jamestown	4500		Standard working hours
Service	NO BID		
Steve's	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Dunbar Library – ADA Renovations

Bid Package Name: Flooring/Wall Tile

Vendor Name	Base Bid		
Wallpaper World	5400		
Acousti	NO BID		
Wayne Wiles	NO BID		
Studio Plus	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Dunbar Library – ADA Renovations

Bid Package Name: Plumbing

Vendor Name	Base Bid	Premium Time	
B&I	40,500	Excluded	Has only bid for repipe
Aristocrat	41,470		No phasing
Coastline Plumbing	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: ____ 4/10/19

Project: ____ Dunbar Library – ADA Renovations

Bid Package Name: ____ Electric _____

Vendor Name	Base Bid		
Baja Electric	4500		Standard working hours
Wentco	NO BID		
Nauti Electric	NO BID		
B&I	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: FM Regional Library – ADA Renovations

Bid Package Name: Selective Demolition

Vendor Name	Base Bid		
Southwest Builders	11,907	Standard working hours	
Wildcat	NO BID		
Olds	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: FM Regional Library – ADA Renovations

Bid Package Name: Carpentry

Vendor Name	Base Bid	Install Accessories	Blocking	Remove Existing Accessories
Viking	1700	Included	Included	Excluded
Integrity	1200	Included	Included	Included
Bunting	NO BID			

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: FM Regional Library – ADA Renovations

Bid Package Name: Glass/Storefront

Vendor Name	Base Bid		
Acuff	3025		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: FM Regional Library – ADA Renovations

Bid Package Name: Drywall/Framing

Vendor Name	Base Bid		
R&D	3900		
Ford Drywall	NO BID		
Ponce De Leon	NO BID		
Lee Drywall	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: FM Regional Library – ADA Renovations

Bid Package Name: Painting

Vendor Name	Base Bid		
Jamestown	1510		
Service			
Steve's			

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: FM Regional Library – ADA Renovations

Bid Package Name: Flooring/Wall Tile

Vendor Name	Base Bid		
Wallpaper World	4000		Standard working hours
Acousti	NO BID		
Wayne Wiles	NO BID		
Studio Plus	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: FM Regional Library – ADA Renovations

Bid Package Name: Plumbing

Vendor Name	Base Bid	Premium Time	
B&I	18,200	Excluded	
Aristocrat	21,815		
Coastline Plumbing	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: FM Regional Library – ADA Renovations

Bid Package Name: Electric

Vendor Name	Base Bid		
Baja Electric	3,547		Standard working hours
Wentco	NO BID		
Nauti Electric	NO BID		
B&I	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Library Admin Building – ADA Renovations

Bid Package Name: Selective Demolition

Vendor Name	Base Bid	Exterior Demo		
Southwest Builders	6842	E	Standard working hours	
Wildcat	NO BID			
Olds	NO BID			

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Library Admin Building – ADA Renovations

Bid Package Name: Sitework

Vendor Name	Base Bid	Concrete	Asphalt	Interior Concrete Pour Backs	
Infinite	20,421	Included	Included	Included	Standard working hours
PMI	55,715				

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Library Admin Building – ADA Renovations

Bid Package Name: Carpentry

Vendor Name	Base Bid	Install Accessories	Bathroom Partitions	Blocking	Remove Existing Accessories and Partitions
Viking	4000	Included	Excluded	Included	Excluded
Integrity	7200	Included	Included	Included	Included
Bunting	NO BID				

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Library Admin Building – ADA Renovations

Bid Package Name: Drywall/Framing

Vendor Name	Base Bid		
R&D	1920		
Rord Drywall	NO BID		
Ponce De Leon	NO BID		
Lee Drywall	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Library Admin Building – ADA Renovations

Bid Package Name: Flooring/Wall Tile

Vendor Name	Base Bid		
Wallpaper World	7,000		Standard working hours
Acousti	NO BID		
Wayne Wiles	NO BID		
Studio Plus	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Library Admin Building – ADA Renovations

Bid Package Name: Plumbing

Vendor Name	Base Bid	Premium Time	Drinking Fountain Skirt
B&I	15,525	excluded	Included
Aristocrat	21,855		Excluded
Coastline Plumbing	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Library Admin Building – ADA Renovations

Bid Package Name: Electrical

Vendor Name	Base Bid		
sBaja Electric	1680		Standard working hours
Wentco	NO BID		
Nauti Electric	NO BID		
B&I	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: Northwest Regional – ADA Renovations

Bid Package Name: Sitework

Vendor Name	Base Bid	Demolition	Asphalt	Site Concrete	
Southwest Builders	14,518	I	E	E	
Infinite Construction	40,000	I	I	I	Standard working hours
PMI	83,099	I	I	I	

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: South County Library – ADA Renovations

Bid Package Name: Selective Demolition

Vendor Name	Base Bid	Exterior Demo		
Southwest Builders	15,378	E	Standard working hours	
Wildcat	NO BID			
Olds	NO BID			

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: South County Library – ADA Renovations

Bid Package Name: Sitework

Vendor Name	Base Bid	Concrete	
Infinite	14,435	Included	
PMI	42,320	Included	
R. Way	18,448	Included	

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: South County Library – ADA Renovations

Bid Package Name: Carpentry

Vendor Name	Base Bid	Install Accessories	Bathroom Partitions	Blocking	Doors/HW
Viking	3300	Included	Excluded	Included	Excluded
Integrity	7640	Included	Included	Included	Included
Bunting	NO BID				

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: South County Library – ADA Renovations

Bid Package Name: Drywall/Framing

Vendor Name	Base Bid		
R&D	5750		
Ford Drywall	NO BID		
Ponce De Leon	NO BID		
Lee Drywall	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: South County Library – ADA Renovations

Bid Package Name: Painting

Vendor Name	Base Bid		
Jamestown	3118		Standard working hours
Service	NO BID		
Steve's	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: South County Library – ADA Renovations

Bid Package Name: Flooring/Wall Tile

Vendor Name	Base Bid		
Wallpaper World	5600		Standard working hours
Acousti	NO BID		
Wayne Wiles	NO BID		
Studio Plus	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE



Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: South County Library – ADA Renovations

Bid Package Name: Plumbing

Vendor Name	Base Bid	Premium Time	
B&I	16,200	excluded	
Aristocrat	NO BID		
Coastline Plumbing	NO BID		

EXHIBIT A- GMP & SCHEDULE OF VALUES

BID TAB SHEET PER INDIVIDUAL BID PACKAGE

Owen-Ames-Kimball Company 11941 Fairway Lakes Drive, Fort Myers, Florida 33913-8338 Ph 239-561-4141 • Fax 239-561-1996

Date: 4/10/19

Project: South County Library – ADA Renovations

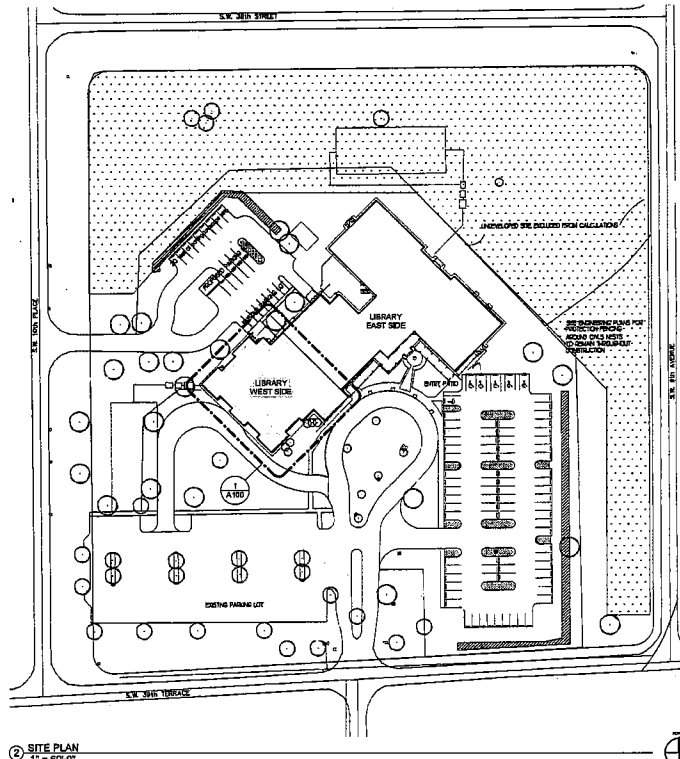
Bid Package Name: Electric

Vendor Name	Base Bid		
Baja Electric	3680		standard working hours
Wentco	NO BID		
Nauti Electric	NO BID		
B&I	NO BID		

LEE COUNTY SOUTHWEST FLORIDA

ADA IMPROVEMENTS TO LEE COUNTY CAPE CORAL LIBRARY

921 SW 39TH TERRACE, CAPE CORAL, FL 33914

[illegible]

SYMBOLS

	PLAN NORTH NORTH ARROW		INDICATES WINDOW TYPE		DETAIL NO. 3 SHEET NO. A5.12		DETAIL NO. 6 SHEET NO. A4.11 ELEVATION
	TRUE NORTH NORTH ARROW		KEYNOTE		ROOM 000 000 SF ROOM NAME, NUMBER AND AREA		DETAIL NO. 6 SHEET NO. A4.11 INTERIOR ELEVATION
	COLUMN LINE REFERENCE		TOILET ACCESSORIES		20 A5.15 DETAIL NO. 25 SHEET NO. A5.15		1 A WALL PARTITION TYPE. SEE A002
	CENTER LINE		HIDDEN LINE OR LINE ABOVE		100 DOOR NUMBER		

SHEET INDEX	
Sheet #	Sheet Name
A000	INDEX, ABBREVIATIONS & SYMBOLS
A100	FLOOR PLAN & INT. ELEV.
A101	EAST RESTROOM PLAN & INT. ELEV.
A102	WALL PARTITION TYPES & SPECIFICATIONS

BUILDING CODE SUMMARY	
NAME OF PROJECT: ADD IMPROVEMENTS TO LEE COUNTY CAPE CORAL LIBRARY	
ADDRESS: 921 SW 39TH TERRACE, CAPE CORAL, FL 33914	
PROPOSED USE: LIBRARY	
OWNER OR AUTHORIZED AGENT: LEE COUNTY CAPE CORAL	
OWNED BY:	() PRIVATE () STATE
CODE ENFORCEMENT JURISDICTION: CITY OF CAPE CORAL	
FLORIDA BUILDING CODE 8TH EDITION, 2017	
FLORIDA PREVENTION 7TH EDITION 2017 (NFPA 1 & NFPA 101 FLORIDA SPECIFIC)	
FLORIDA BUILDING CODE The code is composed of the main volume: the Florida Building Code, Building, which also includes state regulations for its related fields: the Florida Building Code, Plumbing, the Florida Building Code, Mechanical, the Florida Building Code, Electrical, the Florida Building Code, Energy Conservation, the Florida Building Code, Accessibility and the Florida Building Code, Fuel Gas. The Florida Building Code, Building, Chapters 27 through 31 of the Florida Building Code, Building, address the National Electrical Code, NFPA 72, by reference.	
COMPLIANCE STATEMENT THE INFORMATION AND SPECIFICATIONS HAS BEEN PREPARED BY A FLORIDA REGISTERED ARCHITECT, THE BEST OF OUR KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE DESIGNED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, THE FLORIDA BUILDING CODE, PLUMBING CODE, MECHANICAL CODE AND THE NATIONAL ELECTRICAL CODE, NFPA 72, AS WELL AS ALL OTHER CODES AND ORDINANCES AS ADOPTED BY LEE COUNTY.	
BUILDING INFORMATION TOTAL BUILDING AREA: 29,822 GSF (EXISTING - NO CHANGE) AREA OF WORK: 42 GSF OCCUPANCY CLASS: BUSINESS GROUP B (NO CHANGE) CLASSIFICATION OF WORK: ALTERATIONS - LEVEL 2 PER FBC EXISTING CHAPTER 4	
CONSTRUCTION TYPE: II-B PER FBC ALTERNATE CHAPTER 6 STRUCTURE: CAST IN PLACE CONCRETE EXTERIOR WALLS: CONCRETE INTERIOR WALLS: CONCRETE FLOOR: CONCRETE INTERIOR WALLS: CONCRETE MASONRY UNITS AND METAL STUD W/ GYPSUM WALL BOARD	
FIRE RATING: NO (NO CHANGE)	
FIRE SPRINKLERS: YES (NO CHANGE)	
OCCUPANT LOAD TO REMAIN UNCHANGED	
EGRESS EXISTING EGRESS CONDITIONS TO REMAIN UNCHANGED.	
PLUMBING FIXTURES CLOSET TO REMAIN UNCHANGED	

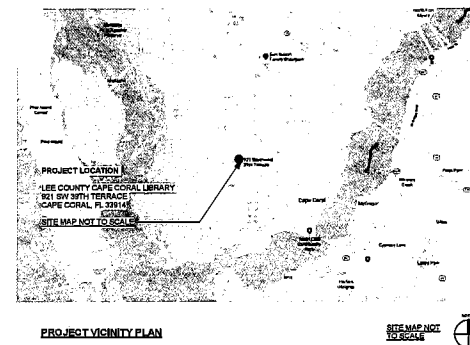
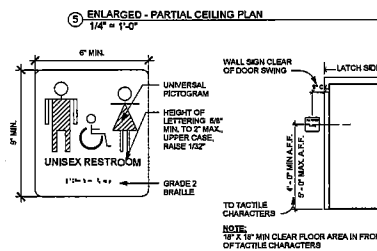
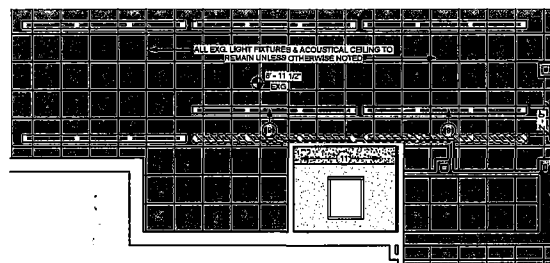
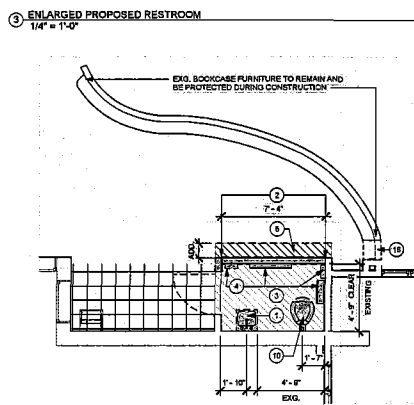
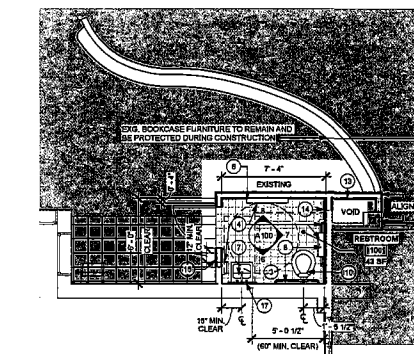
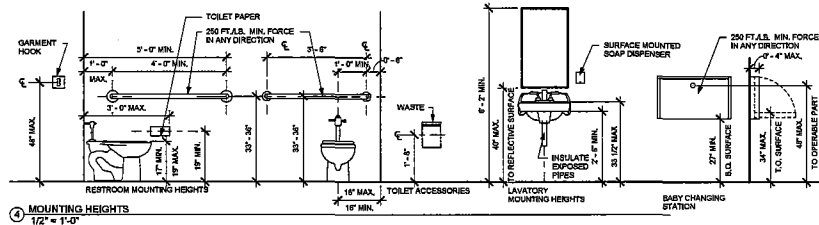
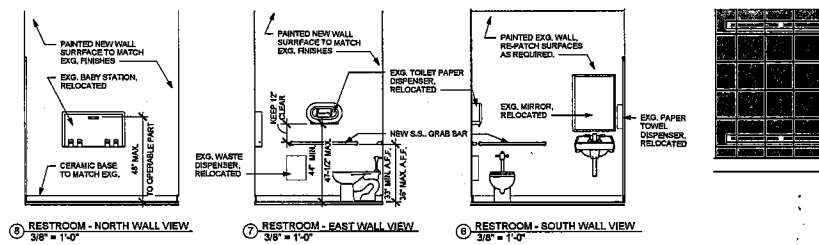
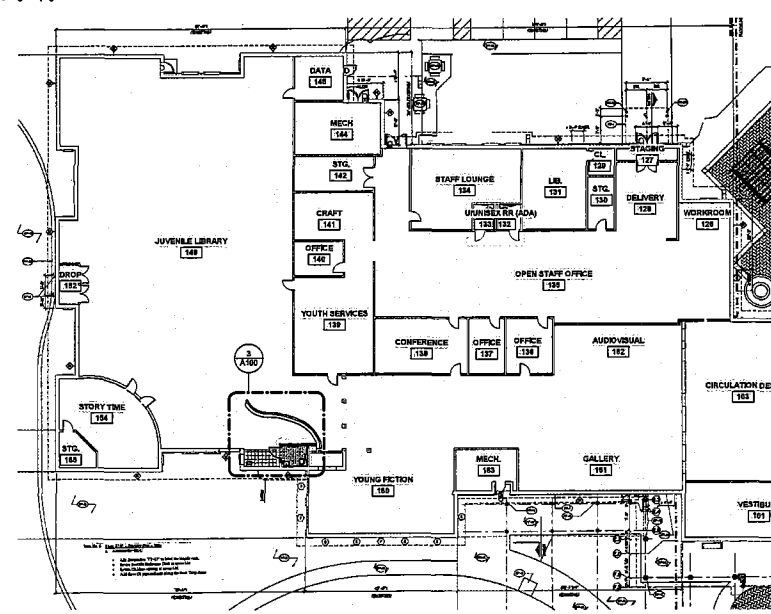


EXHIBIT B



- NOTES:**
1. REFER TO MANUFACTURER'S SPECS FOR ADDITIONAL REQUIREMENTS.
 2. WALL SIGNAGE TO BE INSTALLED ON THE LATCH SIDE OF DOOR.
 3. BACKGROUND COLOR TO BE COORDINATE WITH FACILITY STANDARDS. REFER TO MANUFACTURER'S SPECS FOR ADDITIONAL REQUIREMENTS.

6 DETAIL - H.C. SIGNAGE



- PLAN KEY NOTES**
1. EXG. WALL HUNG SINK TO BE REMOVED AND DISPOSED, CAP SANITARY LINES AND RE-ROUTE AS REQUIRED.
 2. EXG. WALL PARTITION TO BE DEMOLISHED TO THE EXTENT SHOWN ON PLAN.
 3. EXG. FLOOR FINISH TO REMAIN - PREPARE AREA TO RECEIVE NEW FLOOR TILE. ALTERNATE: S.O.C. TO PROVIDE PRICE TO REMOVE AND REPLACE ALL EXG. RESTROOM'S WALL BASE.
 4. EXG. TOILET ACCESSORIES (PAPER TOWEL DISPENSER, TOILET PAPER DISPENSER, WASTE RECEPTACLE & CHANGING STATION) TO BE REMOVED, CLEAN AND PREPARE FOR RELOCATION. PER PROPOSED PLAN, ANGLE TILT MIRROR TO BE DISPOSED. S.O.C. TO PROVIDE REQ. BLOCKING.
 5. EXG. CARPET TILE TO BE REMOVED TO THE EXTENT SHOWN ON PLAN. PER NEW RESTROOM LAYOUT, PREPARE AREA TO RECEIVE CERAMIC TILE FLOOR.
 6. NEW PAINTED GLASS ON 3/4\"
 7. NEW ADA COMPLIANT 1\"
 8. NEW ADA COMPLIANT 3/4\"
 9. EXG. LIGHT PENDANT TO BE RELOCATED TO THE NEXT CEILING TILE, AS MARKED ON PLAN. ALL OTHER FIXTURES TO REMAIN IN PLACE.
 10. EXG. W.C. TO BE REMOVED AND REPLACED IN PLACE WITH AN ADA COMPLIANT FIXTURE (VGL W.C. FIXTURE REAT HEIGHT IS OVER 18\"
 11. EXG. PORTION OF CLOSET TO BE ADJUSTED / CUT / REFINISHED PER PROPOSED PLAN. FIELD VERIFY CONDITIONS.
 12. PROVIDE NEW MIRROR @ ADA STALL, PER SPEC, REFER TO MOUNTING HEIGHTS FOR PLACEMENT REQUIREMENT.

- GENERAL NOTES:**
1. FIELD VERIFY ALL EXISTING FLOOR ELEVATIONS. INFORM THE OWNER AND ARCHITECT IF DISCREPANCIES ARE FOUND.
 2. FIELD VERIFY ALL EXISTING DIMENSIONS. INFORM THE OWNER AND ARCHITECT IF DISCREPANCIES ARE FOUND.
 3. MATCH ALL EXISTING TEXTURES, FINISHES AND COLORS ON WALLS AND FLOORS AS REQ.

RG
RG Architects P.A.
 2070 McGregor Boulevard, Suite 3
 Fort Myers, FL 33901
 P (239) 332 2049
 F (239) 332 2049
 www.rgarchitects.co

LEE COUNTY
 SOUTHWEST FLORIDA

**ADA Improvements to
 Lee County Cape Coral
 Library**

521 SW 35th Terrace
 Cape Coral, FL 33914

CONSULTANTS

SEAL:
 CHARLES R. GUTENKUNT
 AR 10682

REVISIONS
 NO. DESCRIPTION DATE

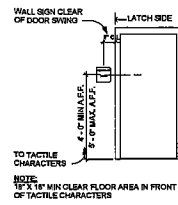
DATE ISSUED: 03.19.19
 RGA PROJECT NUMBER
 1818 004
 © 2016 RG ARCHITECTS, P.A.
 SHEET TITLE

**FLOOR PLAN &
 INT. ELEV.**

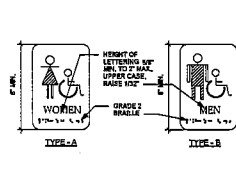
SHEET NUMBER
A100
 100% CD'S - For GMP

3/16/2019 17:07:27 PM

EXHIBIT B

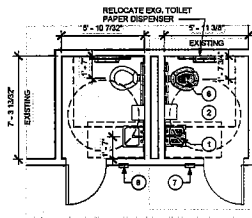


⑥ DETAIL - N.C. SIGNAGE
3/4" = 1'-0"

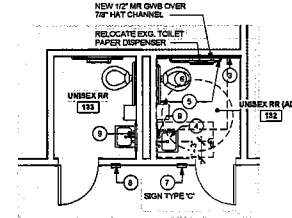


NOTES:

1. REFER TO MANUFACTURER'S SPECS FOR ADDITIONAL REQUIREMENTS.
2. WALL SIGNAGE TO BE INSTALLED ON THE LATCH SIDE OF DOOR
3. BACKGROUND COLOR TO BE COORDINATE WITH FACILITY STANDARDS. REFER TO MANUFACTURER'S SPECS FOR ADDITIONAL REQUIREMENTS.



④ ENLARGED STAFF RESTROOM - DEMO
1/4" = 1'-0"

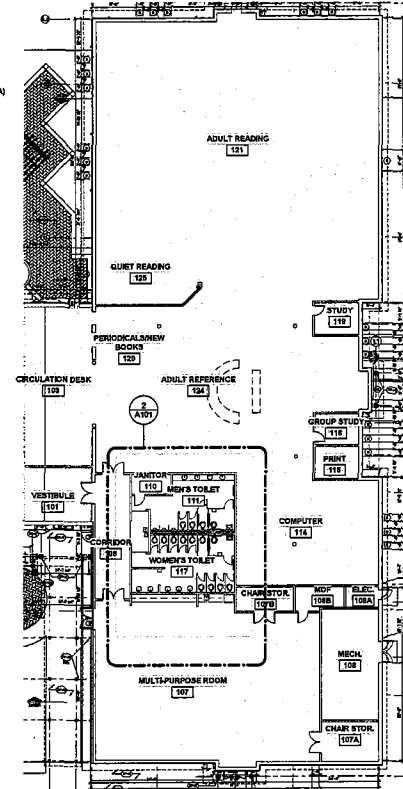


⑤ ENLARGED STAFF RESTROOM - PROPOSED
1/4" = 1'-0"

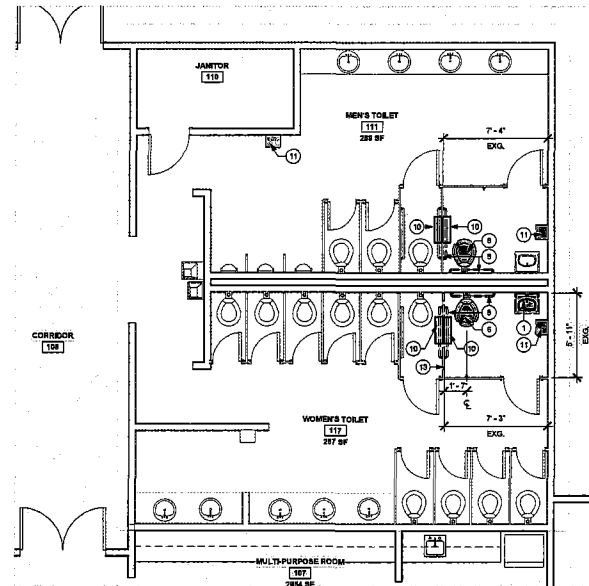
PLAN KEY NOTES - 4	
①	EXG. WALL HUNG SINK TO BE REMOVED AND DISPOSED, CAP SANITARY LINES AND RE-ROUTE AS REQUIRED.
②	EXG. TOILET ACCESSORIES (PAPER TOWEL DISPENSER, TOILET PAPER DISPENSER, WASTE RECEPTACLE & CHANGING STATION) TO BE REMOVED. CLEAN AND PREPARE FOR RELOCATION PER PROPOSED PLAN. ANGLE TILT MIRROR TO BE DISPOSED. G.C. TO PROVIDE REQ. BLOCKING.
③	STAGGERED NEW 58" GWS ON 72" HAT CHANNEL TO EXG. WALL PARTITION. WALL TYPE "2" FINISH TO MATCH EXG. PROVIDE PROPER BLOCKING FOR NEW GRAB BARS.
④	NEW ADA COMPLIANT 15" x 47" AMT. GRAB BAR (STANDARD) SINK. INSTALL PER MANUF. SPECS. PROVIDE NEW MIRROR PER SPECS. PATCH / REPAIR WALL TILE AS REQ.
⑤	REMOVE EXG. GRAB BARS. PROVIDE NEW ADA COMPLIANT 5.5, 42" & 48" GRAB BARS. INSTALL PER MANUF. SPECS. BLOCKING TO BE PROVIDED ON EXG. WALL @ 37" ON A.P. REPAIR / PATCH SURFACES AS REQ. MATCH EXG. FINISHES.
⑥	EXG. W.C. TO BE REMOVED AND REPLACED IN PLACE WITH AN ADA COMPLIANT FIXTURE (EXG. W.C. FIXTURE SEAT HEIGHT IS OVER 19" A.P.). THE W.C. SHALL BE POSITIONED W/ A WALL OR PARTITION TO THE REAR AND TO ONE SIDE. THE CENTRELINE OF THE WATERCLOSET SHALL BE 18" MIN. TO 18" MAX. FROM THE SIDE WALL OR PARTITION. "RBC #4.2
⑦	EXG. TOILET ROOM SIGNAGE TO BE REMOVED. PROVIDE NEW ADA ACCESSIBLE SIGN AS INDICATED. INSTALL PER MANUF. SPECS.
⑧	EXG. TOILET ROOM SIGNAGE TO BE REMOVED. PROVIDE NEW NON-ADA UNISEX SIGN AS PER MANUF. SPECS.
⑨	REMOVE EXG. ANGLE TILT MIRROR. PROVIDE NEW MIRROR PER SPEC. REFER TO MOUNTING HEIGHTS FOR PLACEMENT REQUIREMENT.
⑩	EXG. JUMBO TOILET PAPER DISPENSER TO BE CAREFULLY REMOVED AND RE-INSTALLED 12" MIN. ABOVE GRAB BAR.
⑪	EXG. PAPER TOWEL DISPENSER TO BE CAREFULLY REMOVED & PREPARED TO RE-INSTALLATION @ 48" A.P. MAX. REACH AND PER PROPOSED PLAN.
⑫	EXG. PAPER TOWEL DISPENSER TO BE CAREFULLY REMOVED & PREPARED TO RE-INSTALLATION PER PROPOSED PLAN.
⑬	EXG. TOILET PARTITION TO BE CAREFULLY REMOVED AND RELOCATE 1" CLOSER TOWARDS SIDE WALL. WORKS INDICATED BY BOLD DASHED LINE.

GENERAL NOTES:

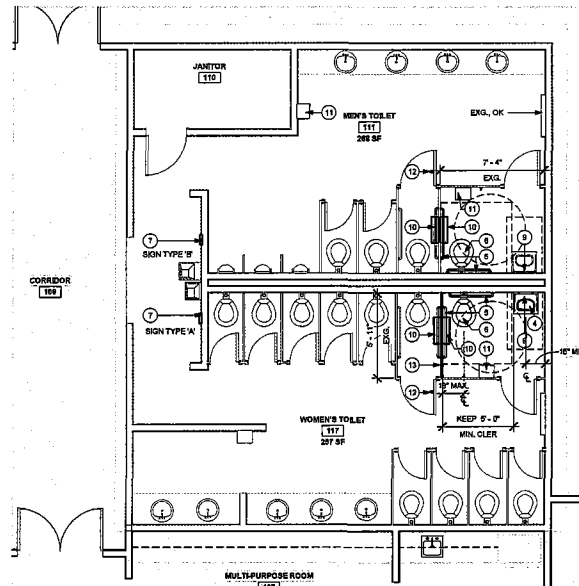
1. FIELD VERIFY ALL EXISTING FLOOR ELEVATIONS & DIMENSIONS. INFORM THE OWNER AND ARCHITECT IF DISCREPANCIES ARE FOUND.
2. MATCH ALL EXISTING TEXTURES, FINISHES AND COLORS ON WALLS AND FLOORS AS REQ.



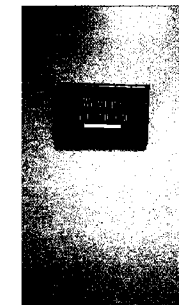
⑦ PARTIAL FLOOR PLAN - EAST LIBRARY
1/16" = 1'-0"



② DEMO RESTROOM PLAN - EAST
1/4" = 1'-0"



③ RESTROOM FLOOR PLAN - EAST
1/4" = 1'-0"



RG
RG Architects P.A.
2070 McGregor Boulevard, Suite 3
Fort Myers, FL 33901
P (239) 332 2040
F (239) 332 2049
www.rgarchitects.co

LEE COUNTY
SOUTHWEST FLORIDA

ADA Improvements to
Lee County Cape Coral
Library

821 SW 39th Terrace
Cape Coral, FL 33914

CONSULTANTS

SEAL
CHARLES R. OLTEKUNST
AR 10682

REVISIONS
NO. DESCRIPTION DATE

DATE ISSUED: 03.19.19

RG PROJECT NUMBER
1818 004
© 2019 RG ARCHITECTS, P.A.
SHEET TITLE

EAST
RESTROOM
PLAN & INT.
ELEV.

SHEET NUMBER

A101

100% CDS - For GMP

3/19/2019 7:07:52 PM

LEE COUNTY SOUTHWEST FLORIDA

ADA IMPROVEMENTS TO LEE COUNTY DUNBAR JUPITER HAMMON LIBRARY

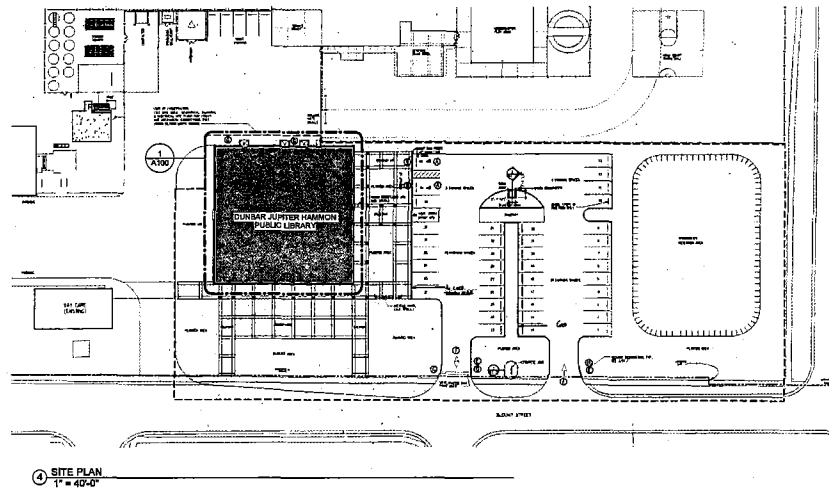
3095 BLOUNT ST, FORT MYERS, FL 33916

[illegible]

SYMBOLS

	PLAN NORTH NORTH ARROW		INDICATES WINDOW TYPE		DETAIL NO. 3 SHEET NO. A&12		DETAIL NO. 6 SHEET NO. A&11
	TRUE NORTH NORTH ARROW		KEYNOTE		BUILDING OR WALL SECTION		ELEVATION
	ROOM 000 000 SF		TOILET ACCESSORIES		DETAIL NO. 25 SHEET NO. A&18		DETAIL NO. 8 SHEET NO. A&11
	COLUMN LINE REFERENCE		CENTER LINE		DOOR NUMBER		INTERIOR ELEVATION
			HIDDEN LINE OR LINE ABOVE				WALL PARTITION TYPE. SEE A002

SHEET INDEX	
Sheet #	Sheet Name
A000	INDEX, ABBREVIATIONS & SYMBOLS
A100	OVERALL PLAN, ENARGED PLANS & DETAILS
A101	ENLARGED YOUTH & WORKROOM PLANS & OTHER DETAILS
A102	ENLARGED MULTIPURPOSE & RESTROOM PLANS & OTHER DETAILS
A200	SPECIFICATIONS



④ SITE PLAN
1" = 40'-0"

BUILDING CODE SUMMARY

NAME OF PROJECT: ADA IMPROVEMENTS TO LEE COUNTY DUNBAR AFTER HAMMON LIBRARY

ADDRESS: 3036 SULLY ST. FORT MYERS, FL 33918

PROPOSED USE: LIBRARY (NO CHANGE)

OWNER OR AUTHORIZED AGENT: FORT MYERS CITY

() PRIVATE

() STATE

CODE ENFORCEMENT JURISDICTION: CITY OF FORT MYERS

FLORIDA BUILDING CODE 8TH EDITION, 2017

FLORIDA PREVENTION #10 EDITION 2017 (NFA 106 101 FLORIDA SPECIFIC)

FLORIDA BUILDING CODE

The code is composed of the main volumes, the Florida Building Code, Building, which also includes state regulations for Licensed Builders, the Florida Building Code, Plumbing, the Florida Building Code, Mechanical, the Florida Building Code, Fuel-Gas, the Florida Building Code, Electrical, the Florida Building Code, Residential, the Florida Building Code, Energy Conservation, the Florida Building Code, Accessibility and the Florida Building Code, International Building Code, 2015 Edition, Chapter 27 of the Florida Building Code, Building, and the National Electrical Code, NFPA 70, by reference.

COMPLIANCE STATEMENT

These plans and specifications have been prepared by a Florida Registered Architect, THE BEST OF OUR KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE DESIGNED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 8TH EDITION AND FLORIDA STATUTES (F.S.) AS WELL AS OTHER CODES AND ORDINANCES AS ADOPTED BY LEE COUNTY.

BUILDING INFORMATION

TOTAL BUILDING AREA: 8,700 SQ. FT. (EXISTING - NO CHANGE)

AREA OF WORK: 726 SQ. FT.

OCCUPANCY CLASS: BUSINESS GROUP C (NO CHANGE)

CLASSIFICATION OF WORK: ALTERATIONS - LEVEL 2 PER FBC EXISTING CHAPTER 4

CONSTRUCTION TYPE: III PER FLORIDA BUILDING CHAPTER 6

STRUCTURE: CAST IN PLACE CONCRETE

EXTERIOR WALLS: CONCRETE MASONRY UNITS

INTERIOR WALLS: CONCRETE MASONRY UNITS AND METAL STUD W/ GYPSUM PLASTER BOARD

FIRE RATINGS: (NO CHANGE)

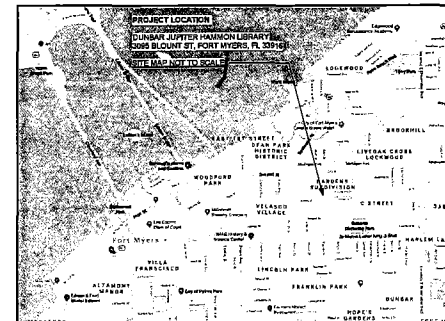
FIRE SPRINKLERS: (NO CHANGE)

OCCUPANT LOAD TO REMAIN UNCHANGED

EGRESS EXISTING EGRESS CONDITIONS TO REMAIN UNCHANGED.

2017 FLORIDA BUILDING CODE: PLUMBING TABLE 403

OCCUPANT (TOTAL AREA x P100)	W.C./URINALS		LAVATORIES		DRINKING FOUNTAINS	
72 OCCUP (61.64 M2/46P)	1 PER 20 AND 1 PER 60 EXCEEDING 60		1 PER 40 AND 1 PER 60 EXCEEDING 60		1 PER 100	
	MALE	FEMALE	MALE	FEMALE		
TOTAL REQUIRED	2	2	2	2	1	
TOTAL PROVIDED	4	4	3	4	4 (1)	



PROJECT VICINITY PLAN

SITE MAP NOT
TO SCALE

P:\Lee County\00 - Lee County Court Services 2017\1518 000 Misc ADA Libraries\1518 005 Dunbar Jupiter Hammon\Drawings\Central File\Dunbar Jupiter Hammon Library ADA.rvt

RG

RG Architects P.A.

2070 McGregor Boulevard, Suite 3
Fort Myers, FL 33801

P (239) 332 2040
F (239) 332 2049
www.rgarchitects.co



LEE COUNTY
SOUTHWEST FLORIDA

ADA Improvements to
Lee County Dunbar
Jupiter Hammon Library

3095 Blount Street - Fort Myers,
FL 33916

SEAL:
CHARLES R. GUTKUNST
AR 10652

REVISIONS		
NO.	DESCRIPTION	DATE

DATE ISSUED: 03.19.19

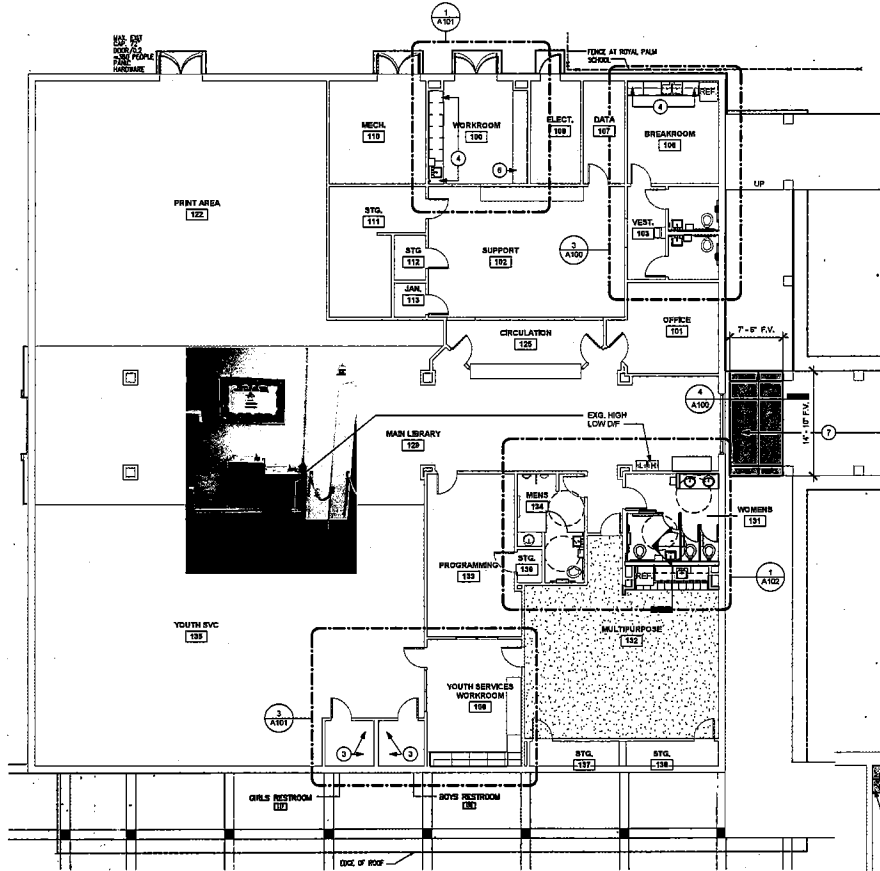
RGA PROJECT NUMBER
 1818 005
 © 2018 RG ARCHITECTS, P.A.
 SHEET TITLE

INDEX, ABBREVIATIONS & SYMBOLS

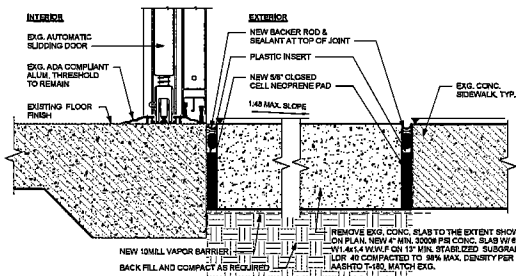
SHEET NUMBER
A000
100% CD's for GMP

3/19/2019 10:14:54 PM

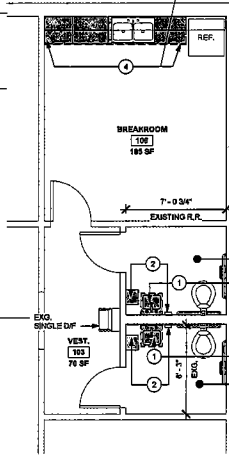
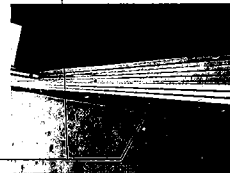
EXHIBIT C



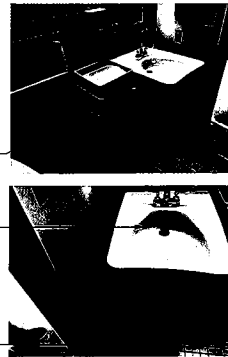
① EXISTING OVERALL FLOOR PLAN
1/8" = 1'-0"



④ DETAIL - NEW CONCRETE SLAB
3" x 1'-0"



② STAFF R.R. & LOUNGE - DEMO
1/4" = 1'-0"

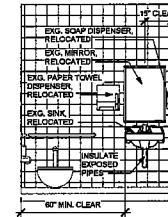


③ **ENLARGED STAFF R.R. & LOUNGE**
1/4" = 1'-0"

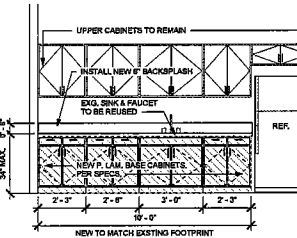
1	REMOVE WALL, HUNG SIGN KIOSK @ STAFF RESTROOMS AND REPLACE WITH ADA COMPLIANT 1' HX 48"X60" ADA AMERICAN STANDARD SIGNK, SINK, REIN. PER MANUF. SPEC.
2	BASE, PAPER TOWEL DISPENSER AND SOAP DISPENSER TO BE RELOCATED PER PROPOSED PLANS ALL OTHER ELEM. TO REM. ACCESSORIES TO REMAIN, REPAIR FINISH SURFACES REQUIRED. MAXIMUM DISBURSEMENT \$10,000
3	NEW FLOORING 178 ± 118: THIS ITEM IS OUT OF SCOPE. SCOPE OF WORK - COUNTY STATE TO REMOVE FLOORING AND CEMENT ASK, SANITARY LINES.
4	30" HX 36" HX KIOSK /COUNTERTOP TO BE CAREFULLY REMOVED AND PREPARE FOR REUSE. REUSE BASE, COUNTERTOP AND DISPOSED. REPAIRS REQUIRED. PROVIDE NEW BASE CATEGORIES @ 36" MAX. HEIGHT FOR ADA. REUSE ELEM. COUNTERTOP. PROVIDE HANDRAILS TO REMAIN (REARROOM ONLY)
5	NOT USED.
6	3X12"X12" WOODWORKING 2X12"X12" INCH SQUARE ROUGHENED OAK, DRAWINGS TO COMPLY WITH 27" MAX. CLEARANCE SIGN SPACE. IMPOSE ROUGHENED OAK.
7	REMOVE OAK PORTION OF CONC. BASE TO THE LIMIT OF NEXT CONTR. JOINT. POUR NEW 2,000 PSI CONCRETE SLAB (4" MIN) W/ 40% FIBER 4"X4"X4" V. 4"X4"X4" ON MINIMUM REINFORCED SUBGRADE 18" MIN. DEPTH. REPAIR REINFORCED TIE INTO TIE.
8	CHEMICAL SOL. TREATMENTS SHALL BE APPLIED UNDER EXISTING CONCRETE OR GRADE WITHIN 5' OF THE PRIMARY STRUCTURE SIDEWALKS. PER 2014 FC6 18.6.8.
9	SLOPE REQUIREMENTS: PER 2014 FGA 403.3. SLOPE SURFACES SHALL BE MAINTAINED AT MINIMUM 1% SLOPE. CROSS SLOPE OF WALKING SURFACES 1-4% MAX. SLOPE.

GENERAL NOTES:

1. FIELD VERIFY ALL EXISTING FLOOR ELEVATIONS. INFORM THE OWNER AND ARCHITECT IF DISCREPANCIES ARE FOUND.
2. FIELD VERIFY ALL EXISTING DIMENSIONS. INFORM THE OWNER AND ARCHITECTS IF DISCREPANCIES ARE FOUND.
3. MATCH ALL EXISTING TEXTURES, FINISHES AND COLORS ON WALLS AND FLOORS AS REQ.



⑦ STAFF RESTROOM WALL
3/8" = 1'-0"



⑤ BREAKROOM - NORTH WALL
3/8" = 1'-0"

RG

RG Architects P.A.

2070 McGregor Boulevard, Suite 3
Fort Myers, FL 33901

P (219) 332 1040
F (219) 332 2049
www.rgarchitects.co



LEE COUNTY
SOUTHWEST FLORIDA

ADA Improvements to
Lee County Dunbar
Jupiter Hammon Library

3095 Blount Street - Fort Myers,
FL 33916

SEAL:
CHARLES R. GUTEKUNST
AR 10652

REVISIONS		
NO.	DESCRIPTION	DATE

DATE ISSUED: 03.19.19

RGA PROJECT NUMBER

1818 005

© 2010 RG ARCHITECTS, P.A.

SHEET TITLE

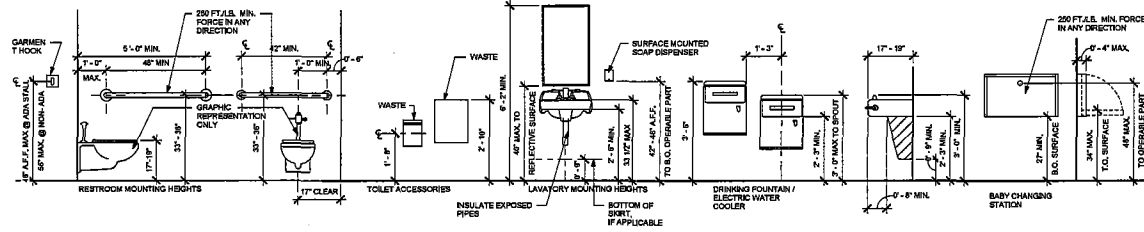
**OVERALL PLAN,
ENLARGED
PLANS &
DETAILS**

SHEET NUMBER

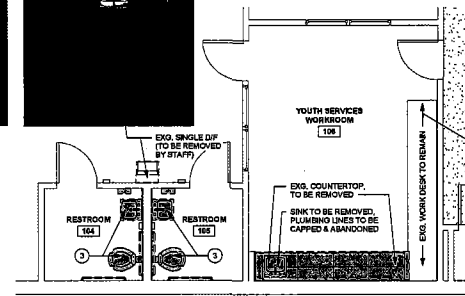
A100

100% CD's for GMP

EXHIBIT C



5 TYP. MOUNTING HEIGHTS
1/2" = 1'-0"



4 RESTROOMS & YOUTH SERVICE - DEMO
1/4" = 1'-0"

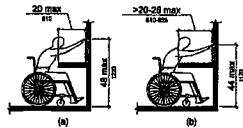
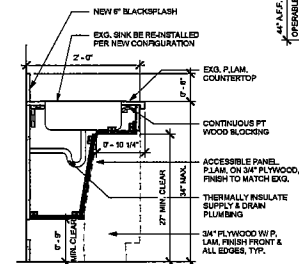
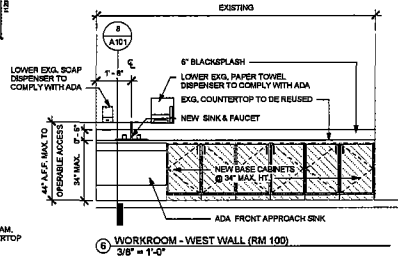


FIGURE 308.2.2
OBSTRUCTED HIGH FORWARD REACH

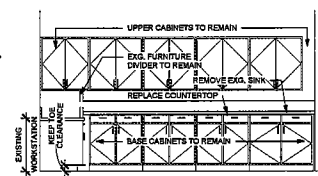


NOTE:
PLAN ALL EXPOSED SURFACES.

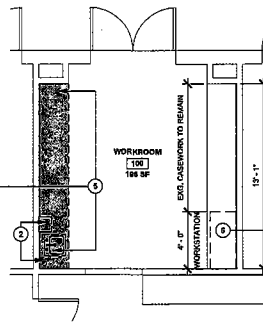
6 DETAIL - BASE CABINET
1" = 1'-0"



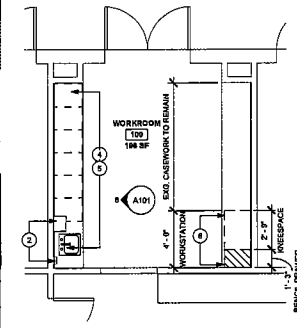
7 WORKROOM - WEST WALL (RM 100)
3/8\"/>



8 YOUTH SERVICES - SOUTH WALL
(RM 120)
3/8\"/>



9 ENLARGED WORKROOM - DEMO
1/4\"/>



10 ENLARGED WORKROOM
1/4\"/>

PLAN KEY NOTES - SHEET A101	
1	EXG. SINK AND COUNTERTOP TO BE REMOVED AND DISPOSED. ALL SANITARY CONNECTIONS TO CAP AND ABANDON. PROVIDE NEW COUNTERTOP, MATCH EXG. FINISHES.
2	EXG. SOAP DISPENSER & PAPER TOWEL DISPENSER TO BE RELOCATED PER PROPOSED PLAN, RE. 68.100 FOR PLACEMENT.
3	NEW STORAGE 117 & 118 - THIS ITEM IS OUT OF G.C. SCOPE OF WORK - COUNTY STAFF. TO REMOVE EXISTING EXPOSURE, ACCESSORIES & ROOM SIGNAGE, CAP & ABANDON. EXG. SANITARY LINES, PATCH WALL AS REQ. MATCH EXG. FINISHES (FUTURE REMOVAL, ALL OTHERS, LABELATION ON BLUE TAGS).
4	EXG. 30\"/>
5	SINK, SANITARY LINES TO BE ALTERED TO PROVIDE FRONT APPROACH AND AS PER NEW ELEVATION. REMOVE EXG. 6\"/>
6	EXG. 31-1/2\"/>

GENERAL NOTES

1. FIELD VERIFY ALL EXISTING FLOOR ELEVATIONS & DIMENSIONS. INFORM THE OWNER AND ARCHITECT IF DISCREPANCIES ARE FOUND.
2. ALL EXG. FINISHES AND TOILET ACCESSORIES TO REMAIN. REPAIR SURFACES AS REQUIRED, MATCH EXISTING.
3. MATCH ALL EXISTING TEXTURES, FINISHES AND COLORS ON WALLS AND FLOORS AS REQ.

RG

RG Architects P.A.

2078 McGregor Boulevard, Suite 3
Fort Myers, FL 33901

P (239) 332 2040
F (239) 332 2049
www.rgarchitects.com

LEE COUNTY
SOUTHWEST FLORIDA

ADA Improvements to
Lee County Dunbar
Jupiter Hammon Library

3095 Blount Street - Fort Myers,
FL 33916

SEAL:
CHARLES R. OUFERKUNST
AIA 10052

REVISIONS
NO. DESCRIPTION DATE

DATE ISSUED: 03.15.19

RG PROJECT NUMBER

1818 005

© 2019 RG ARCHITECTS, P.A.

SHEET TITLE

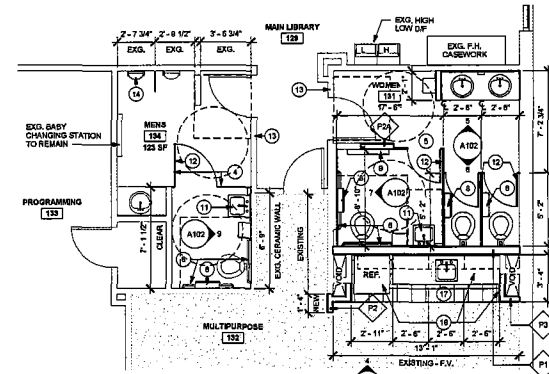
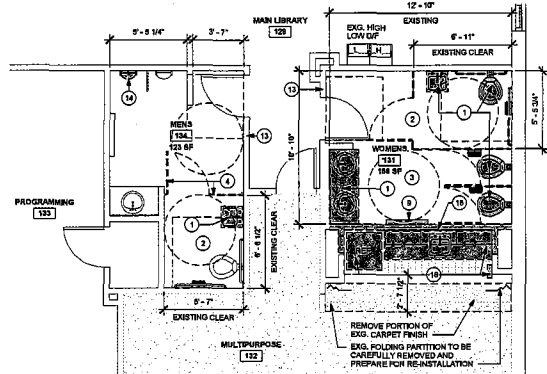
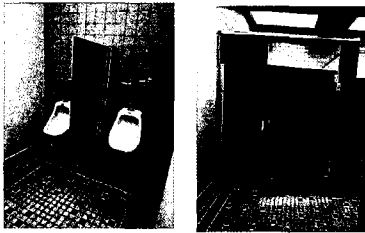
ENLARGED
YOUTH &
WORKROOM
PLANS & OTHER
DETAILS

SHEET NUMBER

A101

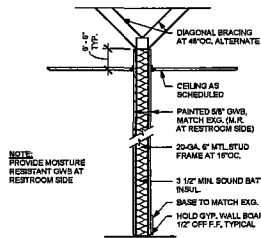
100% CD's for GMP

EXHIBIT C



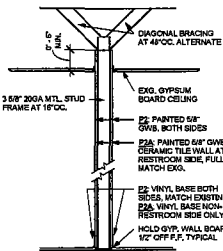
ENLARGED PUBLIC RESTROOM /
MULTIPURPOSE - DEMO
1/4" = 1'-0"

ENLARGED PUBLIC RESTROOM /
MULTIPURPOSE
1/4" = 1'-0"

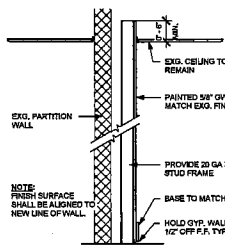


NOTE:
PROVIDE MOISTURE
RESISTANT GWS AT
RESTROOM SIDE

TYPE 1 3/4" = 1'-0"



TYPE 2 2A 3/4" = 1'-0"



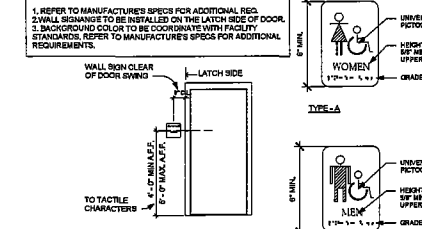
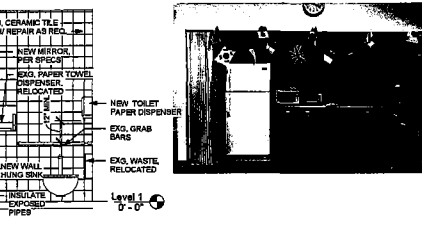
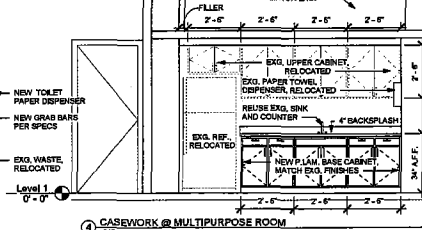
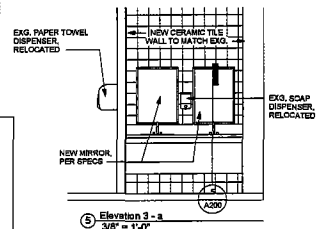
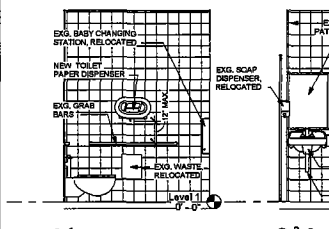
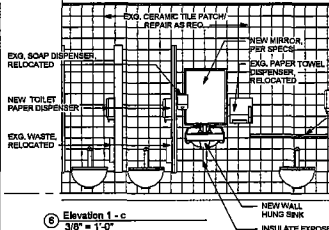
TYPE 3 3/4" = 1'-0"

- RESTROOM PLAN KEY NOTES**
- EXIST. PLUMBING FIXTURES TO BE REMOVED AND DISPOSED WHERE INDICATED. WATER AND SANITARY CONNECTION TO BE RE-ROUTED PER PROPOSED PLAN. PATCH WALL WITH CERAMIC TILE AS REQUIRED, GC TO MATCH EXG. TILE.
 - EXG. PAPER TOWEL DISPENSER AND SCAP DISPENSER TO BE CAREFULLY REMOVED AND PREPARED FOR RELOCATION PER PROPOSED PLAN. ALL ANGLE TILT MIRROR AND TOILET PAPER DISPENSER TO BE REMOVED AND DISPOSED. NEW MIRROR AS PER SPEC. REPAIR FINISH SURFACES AS REQUIRED, MATCH EXISTING. MALE RESTROOM SCOPE IS LIMITED TO ADA STALL.
 - REMOVED EXG. TOILET PARTITION - WOMEN'S GARG RESTROOM ONLY.
 - EXG. TOILET PARTITION & DOOR TO BE CAREFULLY REMOVED AND PREPARED FOR RELOCATION PER PROPOSED PLAN. NEW ADA STALL ONLY. PROVIDE MIN. 7'-1 1/2" CLEAR WIDTH.
 - WATER AND SANITARY CONNECTION TO BE RE-ROUTED FOR NEW WALL MOUNTED W.C. PER NEW LAYOUT. PATCH WALL AS REQUIRED. MATCH EXG. FINISH.
 - NEW 42" & 48" S.S. GRAB BAR, PROVIDE WD. BLOCKING AS PER MANUF. SPEC. REQUIREMENTS. (EXISTING 42" MAY BE REUSED)
 - PROVIDE NEW WATER AND SANITARY CONNECTION FOR ALL WALL MOUNTED WATER CLOSET, RELOCATED. PROVIDE INSULATION TO SINKS EXPOSED PIPES. PATCH WALL AS REQUIRED.
 - NEW JUMBO TOILET PAPER DISPENSER PER SPEC. INSTALL 12" MIN. ABOVE GRAB BAR. PATCH/REPAIR WALL AS REQ. REC. ACCESSIBILITY 30A.2.1 THE HIGH FORWARD UNOBSTRUCTED APPROACH REACH SHALL BE 18" MIN TO 48" MAX. A.F.F.
 - CAREFULLY REMOVE EXISTING BABY CHANGING STATION. PREPARE FOR RELOCATION PER PROPOSED PLAN. WALL SURFACE TO BE PATCH AS REQUIRED.
 - EXISTING BABY CHANGING STATION, RELOCATED. PROVIDE WD. BLOCKING AS PER MANUF. SPEC. REQUIREMENTS.
 - NEW ADA COMPLIANT 19" x 17" WALL-HUNG 4887.0A.020 AMERICAN STANDARD SINK. INSTALL PER MANUF. SPEC. PROVIDE NEW MIRROR IN BOTTOM OF THE REFLECTANT SURFACE @ 4" MAX. A.F.F. EXG. WATER AND SANITARY CONNECTION TO BE RE-ROUTED. PATCH WALL CERAMIC TILE AS REQ.
 - NEW COAT HOOK TO BE INSTALLED @ 48" A.F.F. REC. ACCESSIBILITY 30A.2.1 THE HIGH FORWARD UNOBSTRUCTED APPROACH REACH SHALL BE 18" MIN TO 48" MAX. A.F.F. NON-ADA STALL @ 84" A.F.F. MAX.
 - REMOVE EXG. NON-COMPLIANT RESTROOM SIGNAGE. PROVIDE NEW ADA ACCESSIBLE SIGN AS PER MANUF. SPEC.
 - EXG. ADA URINAL TO BE CAREFULLY REMOVED AND PREPARED FOR RELOCATION PER PROPOSED PLAN. T.O. R/W SHALL NOT EXCEED 17" A.F.F. ADJUST SANITARY LINE AS REQ.
 - EXG. WALL PARTITION TO BE REMOVED TO EXTENT SHOWN ON PLAN. CAP SANITARY LINES AND REROUT AS REQ. PER NEW LAYOUT.
 - CAREFULLY REMOVE EXG. WALL CABINET, COUNTERTOP, SINK, REFRIGERATOR & PAPER TOWEL DISPENSER. PREPARE FOR RELOCATION PER PROPOSED PLAN. SECURE SANITARY LINE DURING CONSTRUCTION AND ADJUST PER NEW LAYOUT. BASE CABINET TO BE REMOVED AND DISPOSED.
 - EXG. LIGHT FIXTURE AND ASSOCIATED SWITCH TO BE REMOVED AND PREPARED FOR RELOCATION PER PROPOSED PLAN. NEW SWITCH TO BE LOCATED WITHIN EXTENSION OF SAME WALL C.M. TO EXTEND EXG. CIRCUIT AND WIRE TO NEW LOCATION. EXG. G.W.S. SORTE SHALL BE EXTENDED PER NEW LAYOUT.
 - EXG. FOLDING PARTITION TO BE CAREFULLY REMOVED AND PREPARED FOR RELOCATION PER PROPOSED PLAN.

GENERAL NOTES:

- FIELD VERIFY ALL EXISTING FLOOR ELEVATIONS & DIMENSIONS. INFORM THE OWNER AND ARCHITECT IF DISCREPANCIES ARE FOUND.
- ALL EXG. FINISHES AND TOILET ACCESSORIES TO REMAIN. REPAIR SURFACES AS REQUIRED, MATCH EXISTING.
- MATCH ALL EXISTING TEXTURES, FINISHES AND COLORS ON WALLS AND FLOORS AS REQ.

- PARTITION NOTES:**
- ALL STUD GAUGES AND LIMITING HEIGHTS IN GYPSUM WALL BOARD REFERENCE SPECIFICATIONS.
 - ALL PARTITIONS CONTAINING PLUMBING OR HAVING AN EXTERIOR FACE TO BE INSULATED WITH SOUND ATTENUATION BATT AS SPECIFIED.
 - WHERE GYPSUM WALL BOARD EXTENDS TO THE UNDERSIDE OF STRUCTURE, STOP GYPSUM WALL BOARD 1" BELOW LINE OF STRUCTURE AND SEAL AS REQUIRED.
 - NON-RATED PARTITIONS TO BE INSTALLED WITH ACOUSTICAL SEALANT, UNLESS NOTED OTHERWISE.
 - ALL PARTITIONS SCHEDULED TO RECEIVE TILE OR FRP, SHALL BE CONSTRUCTED OF CEMENTitious BACKER BOARD.
 - DO NOT INSTALL GYPSUM WALL BOARD IN DIRECT CONTACT WITH THE FLOOR. ALL PARTITIONS SHALL BE SHIMMED 1" OFF THE FLOOR WITH NON-POROUS BEAMS. PLASTIC NON-POROUS POROSURE BEAMS ARE RECOMMENDED. GYPSUM WALL BOARD SHALL NOT BE ACCEPTABLE. SEAL WITH ACOUSTICAL SEALANT AT NON-RATED WALLS. SEAL WITH FIRE RATED SEALANT AT RATED WALLS.



DETAIL - H.C. SIGNAGE
3/8" = 1'-0"

RG
RG Architects P.A.
2070 McGregor Boulevard, Suite 2
Fort Myers, FL 33901
P (239) 332 2040
F (239) 332 2049
www.rgarchitects.co

LEE COUNTY
SOUTHWEST FLORIDA

ADA Improvements to
Lee County Dunbar
Jupiter Hammon Library

3095 Blount Street - Fort Myers,
FL 33916

REAL:
CHARLES R. GUTENKUNT
AR 1682

REVISIONS
NO. DESCRIPTION DATE

DATE ISSUED: 03.19.19

RG PROJECT NUMBER
1818 005
© 2018 RG ARCHITECTS, P.A.

SHEET TITLE
**ENLARGED
MULTIPURPOSE
& RESTROOM
PLANS & OTHER
DETAILS**

SHEET NUMBER
A102
100% CD's for GMP

3/18/2019 10:18:38 PM

LEE COUNTY SOUTHWEST FLORIDA

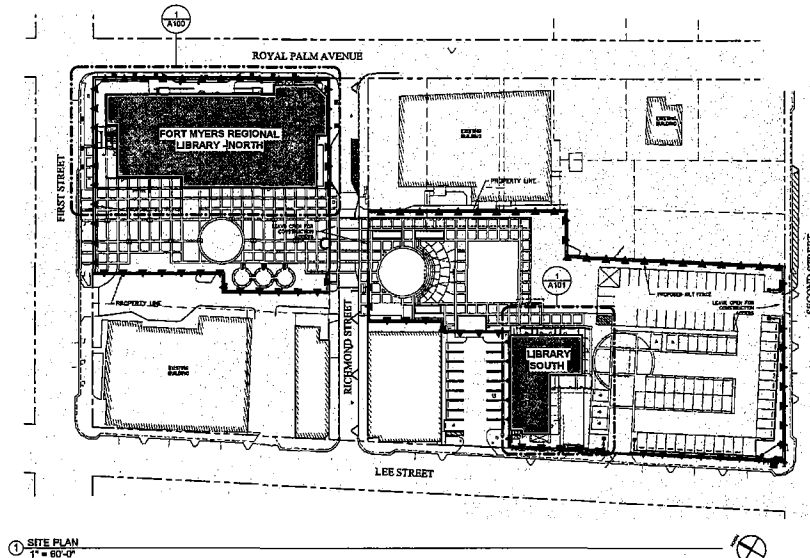
ADA IMPROVEMENTS TO FORT MYERS REGIONAL LIBRARY

2450 FIRST ST, FORT MYERS, FL 33901

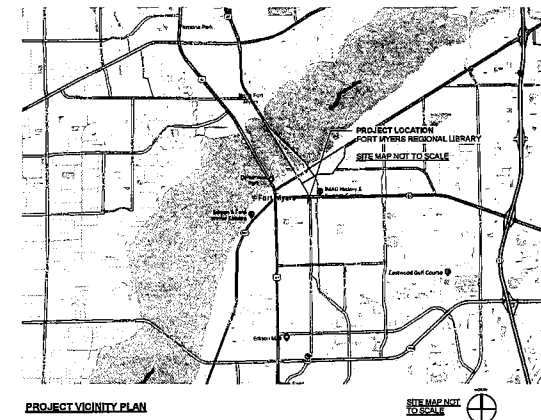
[illegible]

SYMBOLS

	PLAN NORTH NORTH ARROW		INDICATES WINDOW TYPE		DETAIL NO. 3 SHEET NO. A5.12		DETAIL NO. 6 SHEET NO. A4.12
	TRUE NORTH NORTH ARROW		KEYNOTE		BUILDING OR WALL SECTION		ELEVATION
	COLUMN LINE REFERENCE		ROOM NAME, NUMBER AND AREA		DETAIL NO. 25 SHEET NO. A5.15		DETAIL NO. 6 SHEET NO. A4.12
	COLUMN LINE REFERENCE		TOILET ACCESSORIES		DETAIL REFERENCE		INTERIOR ELEVATION
	CENTER LINE		HIDDEN LINE OR LINE ABOVE		DOOR NUMBER		WALL PARTITION TYPE. SEE A002



SHEET INDEX	
Sheet #	Sheet Name
A000	INDEX, ABBREVIATIONS & SYMBOLS
A100	FLOOR PLAN - NORTH BUILDING
A101	FLOOR PLAN - SOUTH BUILDING & SPECS



BUILDING CODE SUMMARY

NAME OF PROJECT: ADA IMPROVEMENTS TO FORT MYERS REGIONAL LIBRARY
ADDRESS: 2440 FIRST ST. FORT MYERS, FL 33901
PROPOSED USE: LIBRARY (AND CHANGING)
OWNER OR AUTHORIZED AGENT: MIAMI COUNTY FACILITIES
OWNED BY: _____ CODE ENFORCEMENT JURISDICTION: _____ () CITY/COUNTY () PRIVATE () STATE
DATE OF SUBMITTAL: _____

FLORIDA BUILDING CODE 7TH EDITION, 2017
FLORIDA FIRE PREVENTION 6TH EDITION 2011, (NFPA 1 AND NFPA 101 FLORIDA SPECIFIC)

FLORIDA BUILDING CODE:
"The code is composed of nine main volumes: The Florida Building Code, Building, which also includes state requirements for fire and life safety; The Florida Building Code, Plumbing; The Florida Building Code, Mechanical; The Florida Building Code, Fuel Gas; The Florida Building Code, Electrical; The Florida Building Code, Accessibility and the Florida Building Code, Energy Conservation. The Florida Building Code, Building, is the primary code for all building types except for high-hazard structures. Chapter 27 of the Florida Building Code, Building, adopts the National Electrical Code, 1999, 70, by reference."

COMPLIANCE STATEMENT:
THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY A FLORIDA REGISTERED ARCHITECT, "TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE PLANS AND SPECIFICATIONS ARE DESIGNED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 6TH EDITION AND FLORIDA STATUTES (F.S.), AS WELL AS ALL OTHER CODES AND ORDINANCES AS ADOPTED BY THE COUNTY."

BUILDING INFORMATION

TOTAL NORTH BUILDING AREA: 39,000 GSF (NO CHANGE)
AREA OF WORK: 19,000 GSF
TOTAL SOUTH BUILDING AREA: 5,887 GSF (NO CHANGE)
AREA OF WORK: 60 GSF
OCCUPANCY CLASS: BUSINESS - GROUP B (NO CHANGE)
CLASSIFICATION OF WORK ALTERATIONS - LEVEL 2 PER EXISTING CHAPTER 4

CONSTRUCTION TYPE: 5-4 PER FBC BUILDING CHAPTER 6
STRUCTURE: CAST IN PLACE CONCRETE
EXTERIOR WALLS: CONCRETE CMU WITH INSULATION
INTERIOR WALLS: CONCRETE MASONRY UNITS AND METAL STUD WITH GYPSUM WALL BOARD

FIRE RATES: (NO CHANGE)
FIRE SPRINKLERS: YES (NO CHANGE)

OCCUPANT LOAD TO REMAIN UNAFFECTED

EGRESS EXISTING EGRESS CONDITIONS TO REMAIN UNAFFECTED.

PLUMBING FIXTURES COUNT TO REMAIN UNAFFECTED

SEAL:
CHARLES R. GUTEKUNST
AR 10652

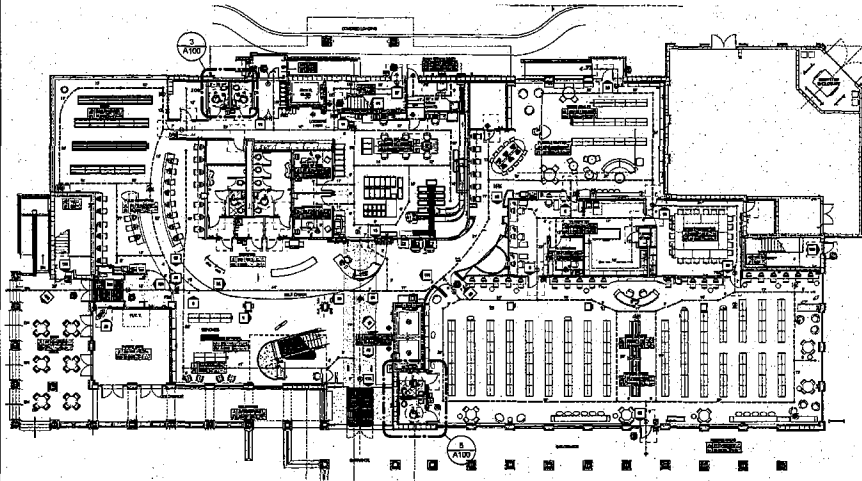
REVISIONS		
NO.	DESCRIPTION	DATE

DATE ISSUED: 03.19.19
RGA PROJECT NUMBER
1818 001
© 2018 RGA ARCHITECTS, P.A.
SHEET TITLE

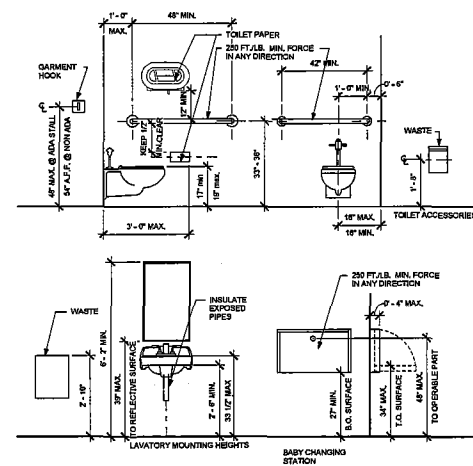
INDEX, ABBREVIATIONS & SYMBOLS

SHEET NUMBER
A000
100% CD's for GMP

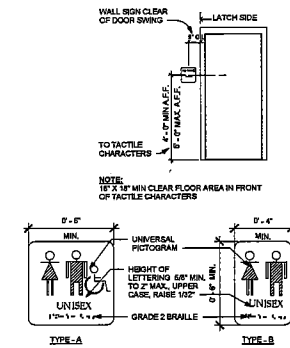
EXHIBIT D



1 OVERALL NORTH BUILDING PLAN
1/16" = 1'-0"

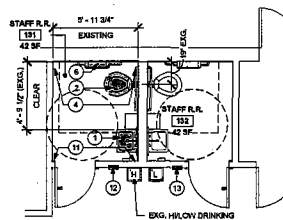
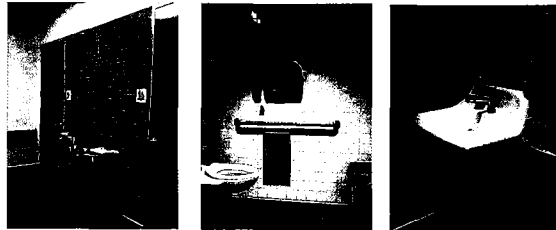


2 TYP. MOUNTING HEIGHTS
1/2" = 1'-0"

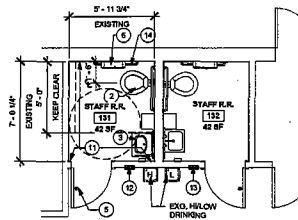


- NOTES:
1. REFER TO MANUFACTURER'S SPEC FOR ADDITIONAL REGS.
 2. WALL SIGNAGE TO BE INSTALLED ON THE LATCH SIDE OF DOOR.
 3. BACKGROUND COLOR TO BE COORDINATE WITH FACILITY STANDARDS. REFER TO MANUFACTURER'S SPEC FOR ADDITIONAL REQUIREMENTS.

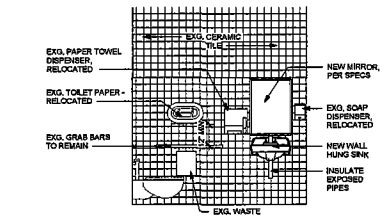
3 DETAIL - H.C. SIGNAGE
3" = 1'-0"



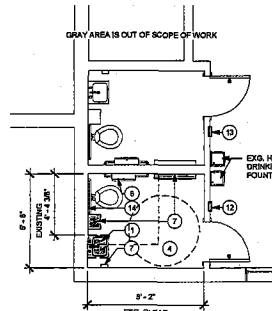
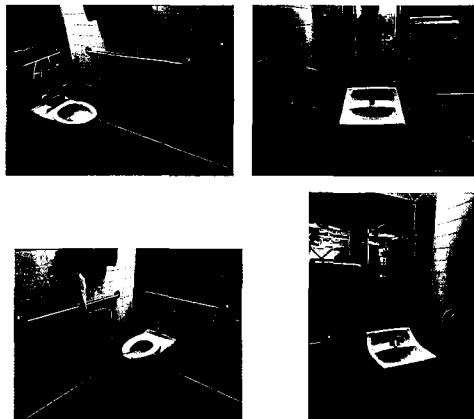
4 STAFF RESTROOM PLAN - DEMO
1/4" = 1'-0"



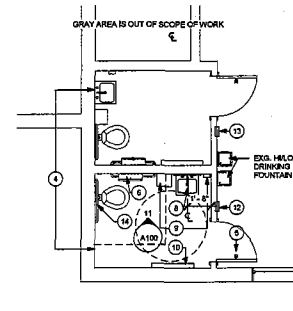
5 PROPOSED STAFF RESTROOM PLAN
1/4" = 1'-0"



6 Elevation 2 - s
3/8" = 1'-0"



7 YOUTH RESTROOM PLAN - DEMO
1/4" = 1'-0"



8 PROPOSED YOUTH RESTROOM PLAN
1/4" = 1'-0"

- RESTROOM PLAN KEY NOTES
1. REMOVE & DISPOSE EXISTING WALL HUNG SINK AND ANGLE TILT MIRROR. EXG. WATER AND SANITARY CONNECTION TO BE RE-ROUTED. PATCH WALL CERAMIC TILE AS REQ.
 2. EXG. WALL MOUNTED WATER CLOSET TO BE REMOVED AND RELOCATED PER PROPOSED PLAN. WATER AND SANITARY CONNECTION TO BE RE-ROUTED PER NEW LAYOUT. PATCH WALL AS REQUIRED. MATCH EXG. FINISHES.
 3. NEW ADA COMPLIANT 19" X 31" WALL-HUNG 4887 JOLDED AMERICAN STANDARD SINK. INSTALL PER MANUF. SPEC. PROVIDE NEW MIRROR PER SPEC.
 4. EXG. WALL TILE FINISH TO REMAIN. ALL WALL REPAIRS TO MATCH EXG. FINISHES.
 5. NEW COAT HOOK TO BE INSTALLED @ 48" A.F.F. PER ACCESSIBILITY 308.2.1. THE HIGH FORWARD UNOBSTRUCTED APPROACH SHALL BE 15" MIN TO 48" MAX A.F.F.
 6. EXG. TOILET PAPER DISPENSER TO BE CAREFULLY REMOVED AND RELOCATED PER PROPOSED PLAN. PER ACCESSIBILITY 308.2.1. THE HIGH FORWARD UNOBSTRUCTED APPROACH SHALL BE 15" MIN TO 48" MAX A.F.F.
 7. CAREFULLY REMOVE EXG. SOAP DISPENSER, PAPER TOWEL DISPENSER AND DIAPER CHANGING STATION. PREPARE TO RELOCATE PER PROPOSED PLAN.
 8. PROVIDE NEW WATER AND SANITARY CONNECTION FOR 19" X 31" WALL-HUNG 4887 JOLDED AMERICAN STANDARD SINK. INSULATE ALL EXPOSED PIPES. TYPICAL. PROVIDE NEW MIRROR PER SPEC.
 9. EXG. PAPER TOWEL DISPENSER AND SOAP DISPENSER TO BE RELOCATED PER PROPOSED PLAN. ANGLE TILT MIRROR TO BE DISPOSED. RE-INT. ELEVATIONS FOR DTL'S.
 10. EXG. BABY CHANGING STATION. RELOCATED. PROVIDE WOOD BLOCKING AS PER MANUF. REQUIREMENTS. PROVIDE MAX SURFACE & REACH RANGE PER ACCESSIBILITY CODES.
 11. CERAMIC TILE & G.W.B. AT STAFF RESTROOM SOUTH WALL. REPLACE WITH 1/2" MOISTURE RESISTANT G.W.B., PAINTED. PROVIDE CERAMIC TILE FULL NOSE BASE. MATCH EXG. FINISHES. SOAP DISPENSER TO BE CAREFULLY REMOVED AND RE-INSTALLED AT NEW WALL SURFACE.
 12. EXG. TOILET ROOM SIGNAGE TO BE REMOVED. PROVIDE NEW ADA ACCESSIBLE UNISEX SIGNS AS PER MANUF. SPEC.
 13. EXG. ROOM SIGNAGE TO BE REMOVED. PROVIDE NEW NON-ADA UNISEX SIGN.
 14. NEW 4" X 4" S.S. GRAB BAR. PROVIDE NEW BLOCKING AS PER MANUF. SPEC. REQUIREMENTS. (EXISTING 42" MAY BE RE-USED)

- GENERAL NOTES:
1. FIELD VERIFY ALL EXISTING FLOOR ELEVATIONS. INFORM THE OWNER AND ARCHITECT IF DISCREPANCIES ARE FOUND.
 2. FIELD VERIFY ALL EXISTING DIMENSIONS. INFORM THE OWNER AND ARCHITECT IF DISCREPANCIES ARE FOUND.
 3. MATCH ALL EXISTING TEXTURES, FINISHES AND COLORS ON WALLS AND FLOORS AS REQ.

RG
RG Architects P.A.

2070 McGregor Boulevard, Suite 2
Fort Myers, FL 33901
P (239) 332 2040
F (239) 332 2049
www.rgarchitects.co

LEE COUNTY
SOUTHWEST FLORIDA

ADA Improvements to
Fort Myers Regional
Library

2450 First St.
Fort Myers, FL 33901

CONSULTANTS

SEAL
CHARLES R. OUTFEY
ARCHITECT

REVISIONS
NO. DESCRIPTION DATE

DATE ISSUED: 03.15.19

RG PROJECT NUMBER
1618 001
© 2018 RG ARCHITECTS, P.A.
SHEET TITLE

FLOOR PLAN -
NORTH
BUILDING

SHEET NUMBER

A100

100% CD'S for GMP

3/19/2019 10:51:12 AM

UTILITIES PROVIDING SERVICE:WATER AND SEWER:

CITY OF FORT MYERS UTILITIES
2925 DR. MARTIN LUTHER KING, JR. BOULEVARD
FORT MYERS, FLORIDA 33913
PHONE: (239) 321-8100

TELEPHONE:

COMCAST
12641 CORPORATE LAKES DRIVE
FORT MYERS, FLORIDA 33913
PHONE: (800) 266-2278

CABLE:

COMCAST
12641 CORPORATE LAKES DRIVE
FORT MYERS, FLORIDA 33913
PHONE: (800) 266-2278

ELECTRIC:

FLORIDA POWER & LIGHT COMPANY
15834 WINKLER ROAD
FORT MYERS, FLORIDA 33908
PHONE: (239) 415-1326

GARBAGE COLLECTION:

CITY OF FORT MYERS
2925 DR. MARTIN LUTHER KING JR. BOULEVARD
FORT MYERS, FLORIDA 33901
PHONE: (239) 321-8050

FIRE CONTROL DISTRICT:

FORT MYERS FIRE DEPARTMENT
2404 DR. MARTIN LUTHER KING JR. BOULEVARD
FORT MYERS, FLORIDA 33901
PHONE: (239) 321-7311

CONSTRUCTION PLANS FOR

ADA IMPROVEMENTS AT LEE COUNTY LIBRARY SYSTEM ADMINISTRATION BUILDING

SECTION 24, TOWNSHIP 44 S., RANGE 24 E.
LEE COUNTY, FLORIDA

OWNER

LEE COUNTY
PO BOX 398
FORT MYERS, FL 33902

STRAP NUMBER

24-44-24-P1-01101.0050

PROJECT LIMITS

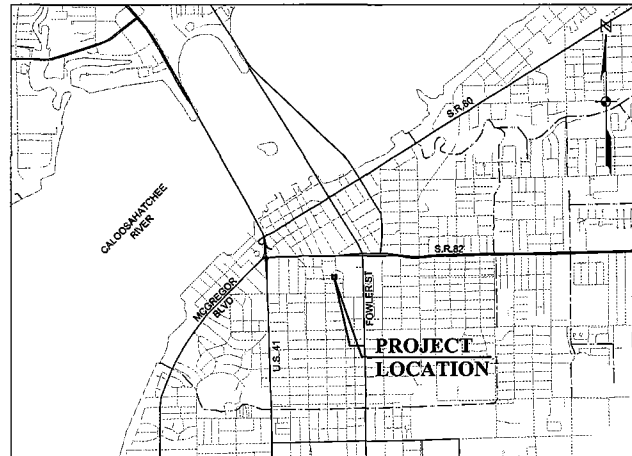
±0.03 AC

ZONING

CIVIC

Sheet List Table

Sheet Number	Sheet Title
C01	COVER
C02	GENERAL NOTES, ABBREVIATIONS, & LEGEND
C03	AERIAL PHOTOGRAPH & EROSION CONTROL PLAN
C04	EXISTING CONDITIONS & DEMOLITION PLAN
C05	SITE, PAVING, & GRADING PLAN & TYPICAL DETAILS

LOCATION MAP

0 2,000 4,000
(INTENDED DISPLAY SCALE: 1"=2,000')

JULY 2018

REVISED: MARCH 2019



JOHNSON
ENGINEERING

JOHNSON ENGINEERING, INC.
2122 JOHNSON STREET
P.O. BOX 1890
FORT MYERS, FLORIDA 33902-1550
PHONE: (239) 334-0046
FAX: (239) 334-3661
E.B. #642 & L.B. #642

REGISTERED PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 82277

TYLER M. SHARPE, PE

DATE

100% CONSTRUCTION DOCUMENTS

SHEET NUMBER
C01

[illegible]

☒	GATE VALVE
☐	TIE ASSEMBLY
☐	REDUCER
☒	BLOW OFF
☒	FIRE HYDRANT
☒	FIRE HYDRANT ASSEMBLY w/ PIPE VALVE
☐	VALVED END SECTION
☐	MANHOLE w/ NUMBER
☒	PLUG VALVE

	WETLAND		EXISTING LAKE TO BE FILLED
	UPLAND BUFFER		PROPOSED LAKE
	UPLAND PRESERVE		LITTOREAL SHELF AREA
	INDIGENOUS AREA		COMPENSATING LITTOREAL PLANTING AREA
	NATURAL AREA		RIPRAP / GRAVEL
	FILTER MARSH		BRICK PAVEMENT
	EXISTING LAKE		NOTE: IN THE PLATTING ARE FOR ILLUSTRATIVE PURPOSES AND NOT TO BE USED FOR CONSTRUCTION ANY MORE IN SCALE & VALUE

[illegible][illegible]

1. THIS SITE CAN BE UTILIZED SAFELY FOR BUILDING PURPOSES WITHOUT UNIQUE DANGER FROM FLOODING OR ADVERSE SOIL CONDITIONS.
2. CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MIN.) PRIOR TO COMMENCING CONSTRUCTION.
3. PLACE 18" OF 500 CONTINUOUS ALONG EDGES OF PAVEMENT OF ALL ROADS AND/OR DRIVEWAYS, LAYING PARALLEL WITH THE ROAD MAINTAINING 12" MINIMUM CLEARANCE FROM CURB.
4. FINISHED GRADE IN LANDSCAPE AREAS OUTSIDE OF BUILDINGS MUST BE 4'-6" BELOW THE FINISHED FLOOR ELEVATION.
5. FINISHED GRADE ALONG EDGE OF PAVEMENT MUST BE AT LEAST 2"

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH POST STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), ROADWAY AND TRAFFIC DESIGN AND CONSTRUCTION (LATEST EDITION), AND THE CURRENT LEE COUNTY CONTROL, ORDERING AND MAINTENANCE MANUAL (LATEST EDITION) DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
2. MATCH EXISTING PAVEMENT MARKINGS AT EXISTING ROADS.
3. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).
4. CONTRACTOR SHALL SET ROADWAY BOUNDARY MARKERS AT PROPOSED COLLECTION ANGLE TO THE ROADWAY IN ACCORDANCE WITH POST NUMBER 17502.
5. SEE POST NUMBER 17546 AND 17503 FOR ADDITIONAL DETAILS.

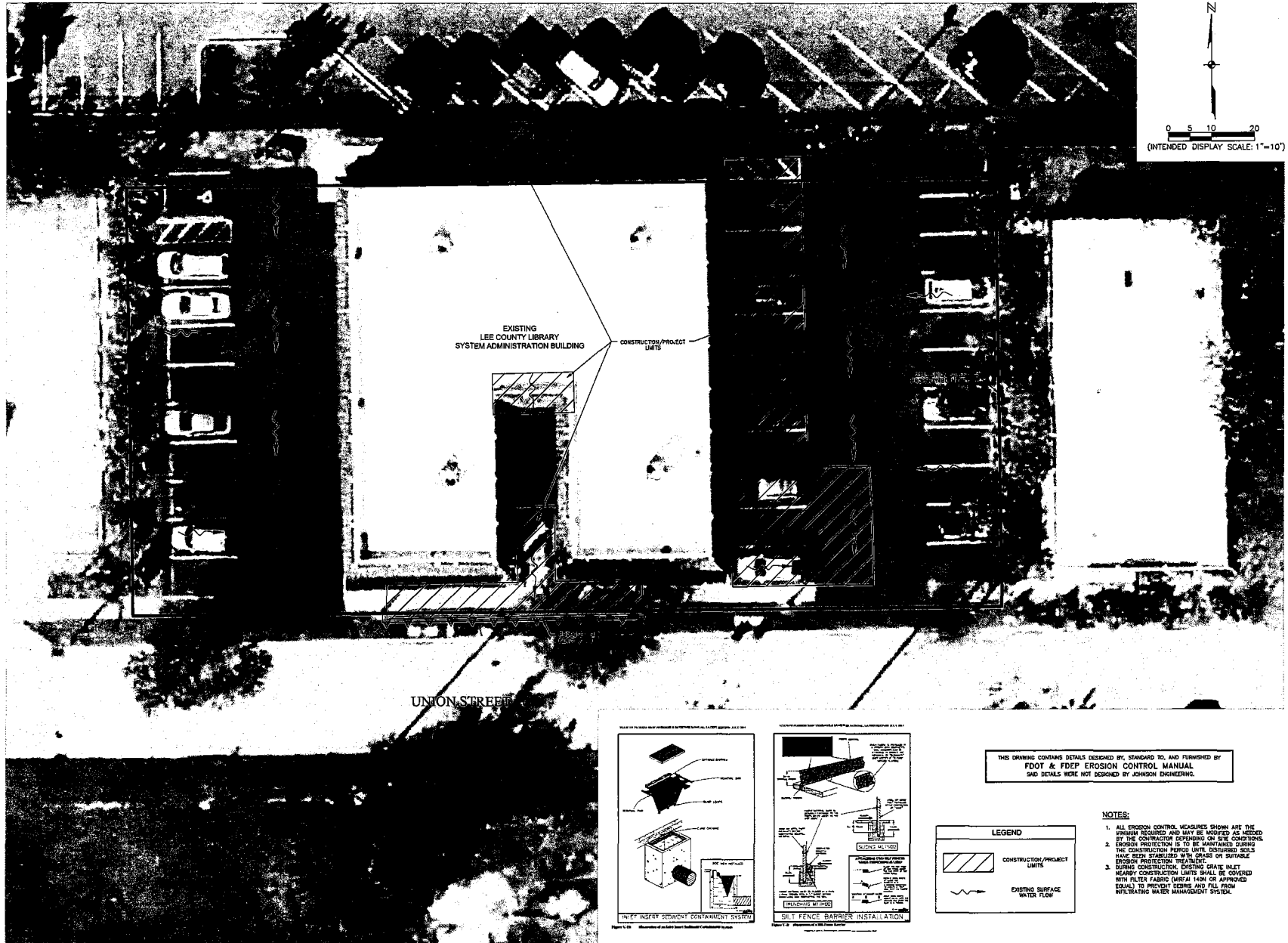
1. ANY SITE DEMOLITION IS BASED ON AVAILABLE INFORMATION PROVIDED TO ENGINEER AND MAY NOT COVER ALL ASPECTS OF THE PROJECT INCLUDING BUT NOT LIMITED TO IRRIGATION LINES SERVICES AND ELECTRICAL SERVICES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COVER ALL EXISTING IMPROVEMENTS TO BE REMOVED IN THEIR DEMOLITION BID.

CONTRACTOR TO CONTACT "SUNSHINE 811" FOR LOCATES TWO BUSINESS DAYS BEFORE YOU DIG, 1-800-431-6776. STATE, COUNTIES, AND CITIES ARE NOT PART OF THE ONE CALL SYSTEM. THEY MUST BE CALLED INDIVIDUALLY.

SUNSHINE 811 FOR LOCATES TWO BUSINESS DAYS BEFORE YOU DIG. 1-800-432-4770. STATE, COUNTIES, AND CITIES ARE NOT PART OF THE ONE CALL SYSTEM, THEY MUST BE CALLED

\\Usad\Drawings\2016\2018\BOS-COOP\FR-KM\4\ ST Engineering Drawings\2017\18-190-000 NOTES.dwg (C:\ST\COOP\NOTES.dwg ASSOCIATIONS & LEGEND) csk May 08, 2018 - 1:04pm

EXHIBIT E



JOHNSON ENGINEERING

JOHNSON ENGINEERING, INC.
2127 JOHNSON STREET
FORT WORTH, TEXAS 76101
PHONE: (817) 334-0945
FAX: (817) 334-0945
E.A. #42 & L.B. #42

TYLER M. SHAW, P.E.
FL License No. 82277

Lee County Library System
Since 1964

ADA IMPROVEMENTS AT LEE COUNTY LIBRARY SYSTEM ADMINISTRATION BUILDING
LEE COUNTY, FLORIDA

REVISIONS

NO.	DATE	DESCRIPTION

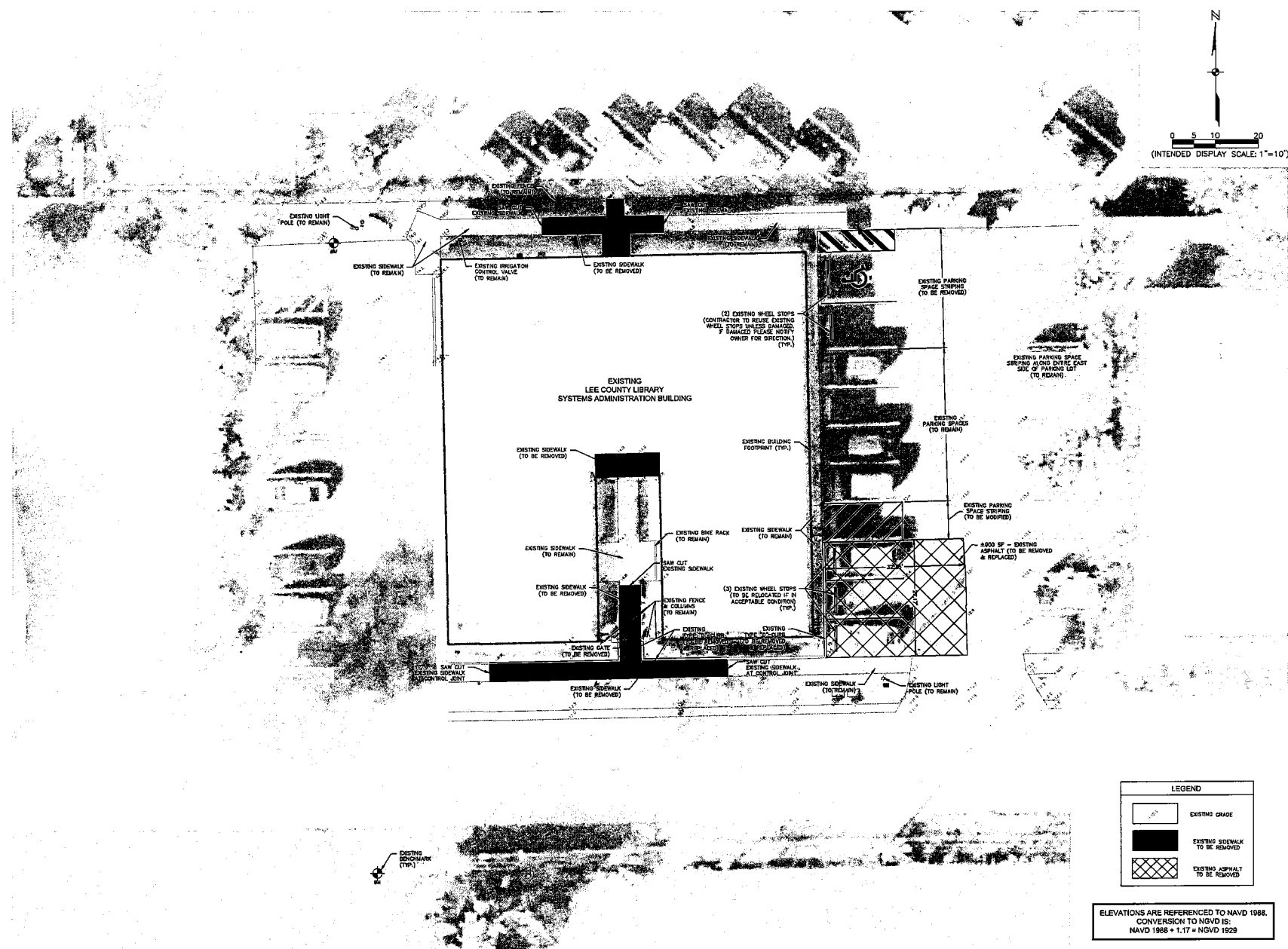
DATE: JULY 2018
PROJECT NO. 20181180-000
FILE NO. 24-44-21
SCALE: As Shown

AERIAL PHOTOGRAPH & EROSION CONTROL PLAN

SHEET NUMBER

C03

EXHIBIT E



ELEVATIONS ARE REFERENCED TO NAVD 1988.
CONVERSION TO NGVD IS:
NAVD 1988 + 1.17 = NGVD 1929

\\firms01\Drawings\2018\20181180-000\FM ADMIN UNION ST\Engineering\Drawings\00\181180-000 DEMO.dwg (04 EXISTING CONDITIONS & DEMOLITION PLAN) csh Mar 18, 2019 - 2:49pm

JOHNSON
ENGINEERING

JOHNSON ENGINEERING, INC.
2122 JOHNSON STREET
FORT MYERS, FLORIDA 33901
PHONE: (239) 334-0948
FAX: (239) 334-3881
E.B. #642 & L.B. #642

TYLER M. SWARPE, PE
FL License No. 02277



Lee County
Library System
Since 1964

ADA IMPROVEMENTS AT LEE COUNTY
LIBRARY SYSTEM ADMINISTRATION BUILDING
LEE COUNTY, FLORIDA

[illegible]

DATE:	JULY 2018
PROJECT NO.	20181180-000
FILE NO.	24-44-24
SCALE:	As Shown

EXISTING
CONDITIONS &
DEMOLITION PLAN

SHEET NUMBER

C04

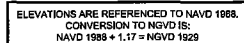
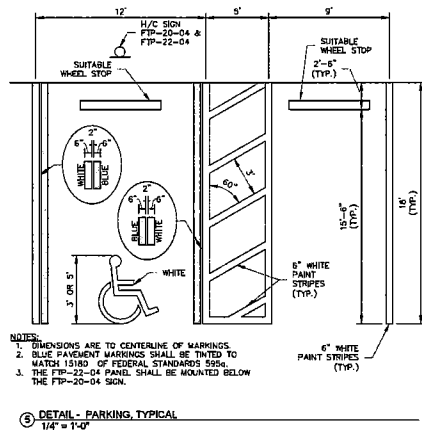
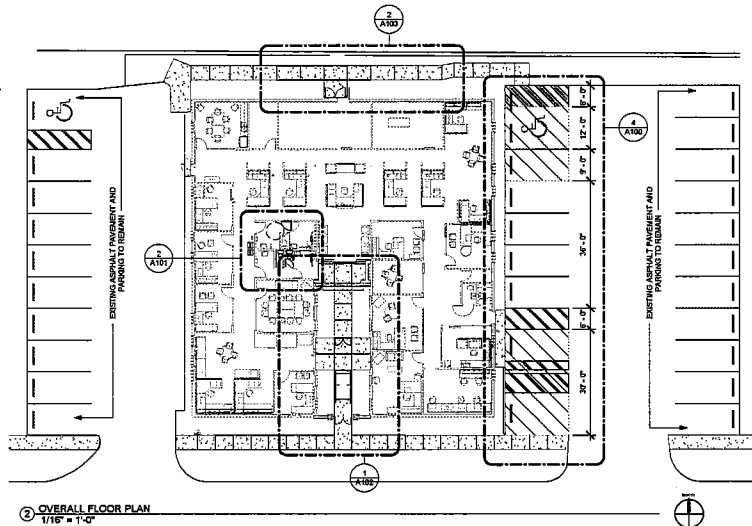
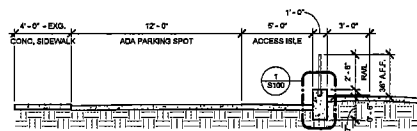


EXHIBIT E



NOTE:
SEE PLAN AND DETAILS FOR HANDICAP LAYOUT.



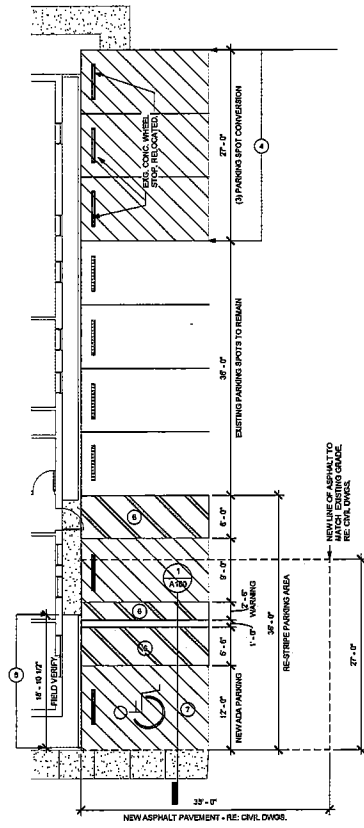
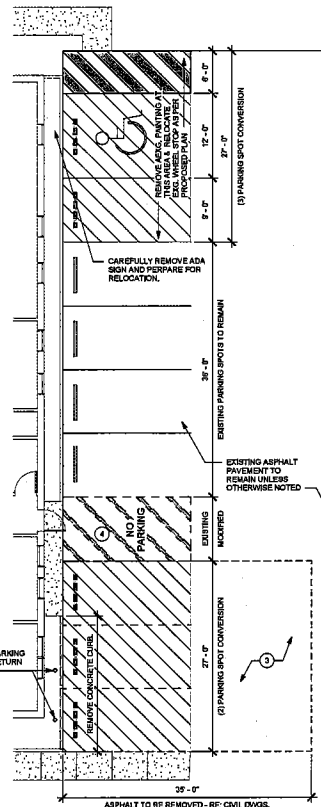
GENERAL NOTES:

1. FIELD VERIFY ALL EXISTING FLOOR ELEVATIONS. INFORM THE OWNER AND ARCHITECT IF DISCREPANCIES ARE FOUND.
2. FIELD VERIFY ALL EXISTING DIMENSIONS. INFORM THE OWNER AND ARCHITECTS IF DISCREPANCIES ARE FOUND.
3. MATCH ALL EXISTING TEXTURES, FINISHES AND COLORS ON WALLS AND FLOORS AS REQ.
4. ALL EXG. WHEEL-STOP TO BE RE-USED, TYPICAL.

GRAY-OUT AREA AND DASHED LINES REPRESENTS SCOPE OF WORK. ALL OTHER PAVEMENT, SIDEWALK WHEEL STOP AND PARKING STRIPPING TO REMAIN, UNLESS OTHERWISE NOTED.

PLAN KEY NOTES

1. NEW CONC. SLOPED WALK, RE. CIVIL PLAN FOR ELEVATION POINTS. 5" MINIMUM 3,000 PSI CONC. W/ FIBER W/ ASHTO T-150. ON 12" MINIMUM STABILIZED SUBGRADE LIR 40 COMPACTED TO 98% MAX. DENSITY PER AASHTO T-99.
2. NEW CONC. SLOPED WALK, RE. CIVIL PLAN FOR ELEVATION POINTS. 5" MINIMUM 3,000 PSI CONC. W/ FIBER W/ ASHTO T-150. ON 12" MINIMUM STABILIZED SUBGRADE LIR 40 COMPACTED TO 98% MAX. DENSITY PER AASHTO T-99.
3. CHEMICAL SOIL TREATMENTS SHALL BE APPLIED UNDER EXISTING CONCRETE OR ASPHALT WITHIN 1'-0" OF THE PRIMARY STRUCTURE SIDEWALKS. PER 2017 FDC 1811.1.5. TERMINATE PROTECTION.
4. SLOPE REQUIREMENTS, PER 2017 FDC 403.3:
WALKING SURFACES 1.20 MAX. SLOPE
CROSS SLOPE OF WALKING SURFACES 1.48 MAX. SLOPE
5. NEW CONCRETE SLAB, SEE PLAN FOR ELEVATIONS. 5" MINIMUM 3,000 PSI CONC. W/ FIBER W/ ASHTO T-150. ON 12" MINIMUM STABILIZED SUBGRADE LIR 40 COMPACTED TO 98% MAX. DENSITY PER AASHTO T-99. 1.48 MAX. CROSS SLOPE.
6. AREA OF ASPHALT TO BE REMOVED AND RE-GRADED PER CIVIL DRAWINGS.
7. RE-STORE/ RE-STRIPPE EXG. ADA PARKING TO (D) NON-ADA PARKING SPACES. REUSE EXG. WHEEL STOP. RE-INSTALL PER FCIT STANDARDS.
8. NEW CONCRETE CURB PER CIVIL DWGS.
9. NEW PAINTED PEDESTRIAN MARKING PER FCIT STANDARDS. RE. CIVIL DRAWINGS FOR DETAILS.
10. PAINT ADA ACCESSIBLE SPACE & NEW H.C. SYMBOL. EXISTING H.C. PARKING PENALTY SIGN, RELOCATED. S.O. SIGN SHALL BE @ 65' A.F.P.



RG

RG Architects P.A.

2070 McGregor Boulevard, Suite 3
Fort Myers, FL 33901

P (239) 332 2048
F (239) 332 2049
www.rgarchitects.com

LEE COUNTY
SOUTHWEST FLORIDA

ADA Improvements to
Lee County Library
Administration

2345 Union St
Fort Myers, FL 33901

CONSULTANTS

CIVIL ENGINEER:

JOHNSON
ENGINEERING

STRUCTURAL ENGINEER:

SELECT STRUCTURAL
13250 New Embassy Blvd
Fort Myers, Florida 33907
Phone (239) 218-0000
info@selectstructural.com
Certification Auth. 28237

SEAL:
CHARLES R. GUTENKUNT
AR 10662

REVISIONS
NO. DESCRIPTION DATE

DATE ISSUED: 03.15.19

RG PROJECT NUMBER

1818 005

© 2018 RG ARCHITECTS, P.A.

SHEET TITLE

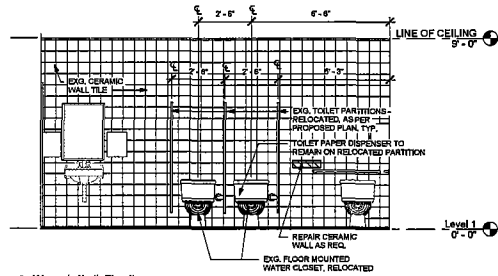
OVERALL
FLOOR PLAN &
PARKING
CONFIGURATION
PLAN

SHEET NUMBER

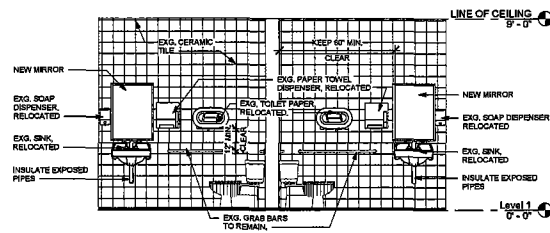
A100

100% CD'S - FOR CMP

EXHIBIT E



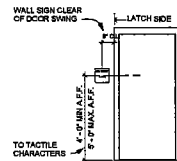
4 Woman's North Elevation
3/8" = 1'-0"



5 Woman's / Men's East Elevation
3/8" = 1'-0"

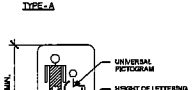
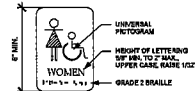
NOTES:

1. REFER TO MANUFACTURER'S SPECS FOR ADDITIONAL REQUIREMENTS.
2. WALL SIGNAGE TO BE INSTALLED ON THE LATCH SIDE OF DOOR.
3. BACKGROUND COLOR TO BE COORDINATE WITH FACILITY STANDARDS. REFER TO MANUFACTURER'S SPECS FOR ADDITIONAL REQUIREMENTS.

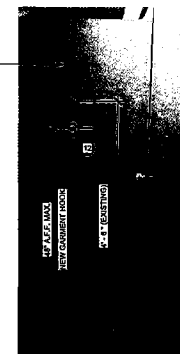


NOTE:
12" X 18" MIN CLEAR FLOOR AREA IN FRONT OF TACTILE CHARACTERS

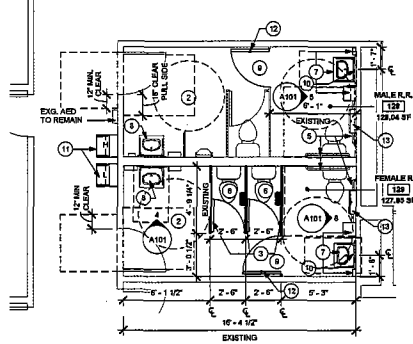
6 DETAIL - H.C. SIGNAGE
3" = 1'-0"



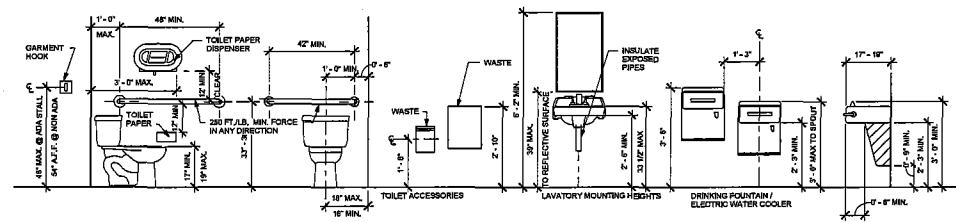
TYPE-B



1 RESTROOMS PLAN - DEMO
1/4" = 1'-0"



2 PROPOSED RESTROOM PLANS
1/4" = 1'-0"



3 TYP. MOUNTING HEIGHTS
1/2" = 1'-0"

RESTROOM KEY NOTES	
1	CAREFULLY REMOVE EXISTING WALL HUNG SINK, PAPER TOWEL DISPENSER AND SOAP DISPENSER @ EXISTING ACCESSIBLE STALL AND PREPARE FOR REINSTALLATION PER PROPOSED PLAN. INSTALL PER MANUF. SPECS. EXG. WATER AND SANITARY CONNECTION TO BE REROUTED PER PROPOSED PLAN. PATCH WALL CERAMIC TILE AS REQUIRED. EXG. ANGLE TILT-MIRROR TO BE REMOVED AND DISPOSED.
2	ALL EXG. FINISHES AND TOILET ACCESSORIES TO REMAIN UNLESS OTHERWISE NOTED. REPAIR SURFACES AS REQUIRED. MATCH EXISTING.
3	EXISTING TOILET PARTITION & DOORS TO BE RELOCATED WHERE INDICATED ON PROPOSED PLAN. REUSE EXG. TOILET PAPER DISPENSER, REPAIR WALL / FLOOR SURFACES AS REQUIRED.
4	REMOVE EXG. SINGLE DRINKING FOUNTAIN WATER AND SANITARY CONNECTION TO BE RE-ROUTED PER PROPOSED PLAN.
5	EXG. GRAB BARS TO REMAIN.
6	EXG. WATER CLOSET TO BE RELOCATED PER PROPOSED PLAN TO OFFER REQUIRED 80" WHEELCHAIR TURNING SPACE. WATER AND SANITARY CONNECTION TO BE RE-ROUTE PER NEW LAYOUT. PATCH FLOORING AND WALLS AS REQUIRED.
7	EXISTING WALL HUNG SINK, PAPER TOWEL DISPENSER AND SOAP DISPENSER TO BE RELOCATED. PROVIDE NEW MIRROR, PER SPECS. WATER AND SANITARY CONNECTION TO BE RE-ROUTE, PATCH FLOORING AND WALLS AS REQUIRED. RE. ELEVATION FOR DTLS.
8	PROVIDE INSULATION TO ALL WALL HUNG SINKS EXPOSED PIPES, TYPICAL.
9	CHANGE SWING TO EXG. PARTITION DOOR AT ADA ACCESSIBLE STALL ONLY.
10	NEW ADA MIRROR SHALL BE INSTALLED WITH THE BOTTOM EDGE OF THE REFLECTANT SURFACE 48" MAX. A.F.F.
11	NEW BELOW ADA COMPLIANT DRINKING FOUNTAINS, INSTALL PER MANUFACTURER'S SPECS.
12	INSTALL NEW GARMENT HOOK @ 48" A.F.F. MAX. (ADA ACCESSIBLE STALL ONLY.)
13	EXG. JUMBO TOILET PAPER DISPENSER @ ADA STALL TO BE REMOVED AND RE-INSTALLED 12" MIN. ABOVE GRAB BAR.

GENERAL NOTES:

1. FIELD VERIFY ALL EXISTING FLOOR ELEVATIONS & DIMENSIONS. INFORM THE OWNER AND ARCHITECT IF DISCREPANCIES ARE FOUND.
2. MATCH ALL EXISTING TEXTURES, FINISHES AND COLORS ON WALLS AND FLOORS AS REQ.

RG

RG Architects P.A.

2070 McGregor Boulevard, Suite 3
Fort Myers, FL 33901

P (239) 332 2040
F (239) 332 2049
www.rgarchitects.com

LEE COUNTY
SOUTHWEST FLORIDA

ADA Improvements to
Lee County Library
Administration

2345 Union St
Fort Myers, FL 33901

CONSULTANTS

CIVIL ENGINEER:

JOHNSON
ENGINEERING

STRUCTURAL ENGINEER:

SELECT STRUCTURAL
12075 New Battery Blvd
Fort Myers, Florida 33907
Phone: (239) 210-0500
info@selectstructural.com
Certification Auth. 26307

SEAL
CHARLES R. GUTERKUNT
AN 10652

REVISIONS
NO. DESCRIPTION DATE

DATE ISSUED: 03.19.19

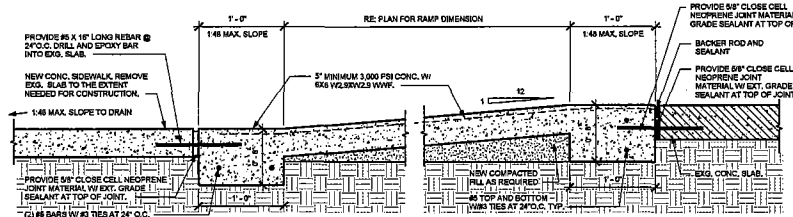
RG PROJECT NUMBER
1818 006
© 2018 RG ARCHITECTS, P.A.
SHEET TITLE

ENLARGED
RESTROOM
PLAN & DETAILS

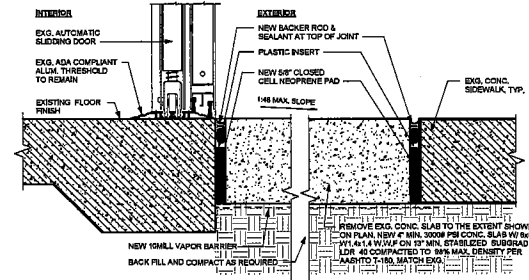
SHEET NUMBER
A101
100% CDS - FOR GMP

3/16/2019 9:55:43 AM

EXHIBIT E

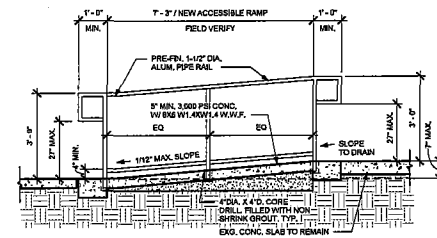


6 DETAIL - CONCRETE RAMP
1/2" = 1'-0"

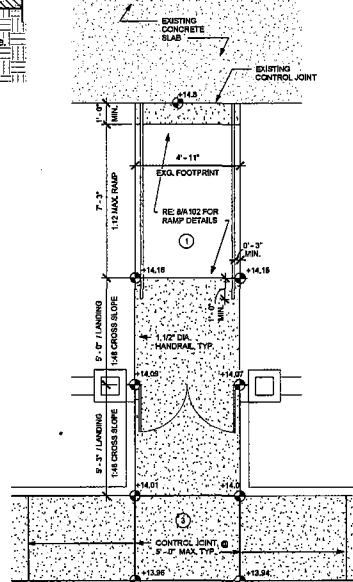


5 DETAIL - DOOR THRESHOLD Copy 1
3" = 1'-0"

NOTE:
ALL RAMP SHALL COMPLY WITH 2017 FBC ACCESSIBILITY 403.3.
CROSS SLOPE OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:48.



4 DETAIL - TYPICAL RAMP AND HANDRAIL
1/2" = 1'-0"

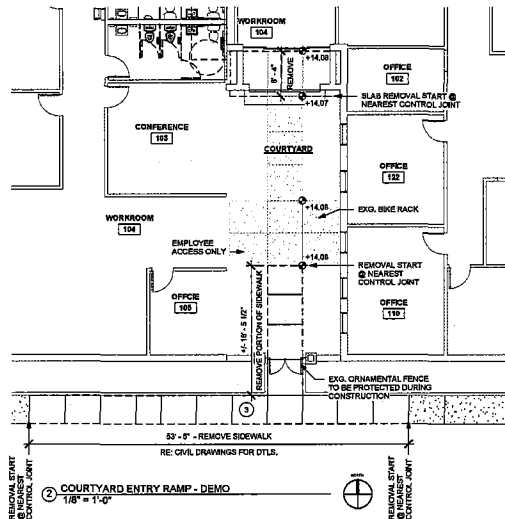


3 DETAIL - TYP. RAMP PLAN
3/8" = 1'-0"

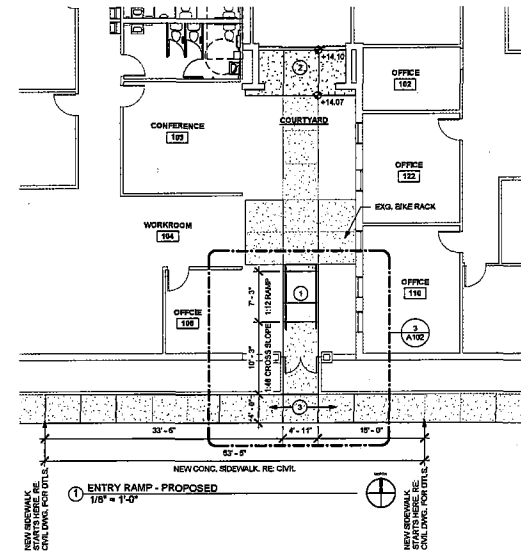
COURTYARD KEY NOTES	
1	NEW CONC. SLOPED WALK, RE: CIVIL PLAN FOR ELEVATIONS. 5" MINIMUM 3,000 PSI CONC. W/ 5% W/ 40% 4" W.W.P. ON 12" MINIMUM STABILIZED SUBGRADE LIR 40 COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180.
2	CHEMICAL SOIL TREATMENTS SHALL BE APPLIED UNDER EXTERIOR CONCRETE ON GRADES WITHIN 1-FOOT OF THE PRIMARY STRUCTURE SIDEWALLS, PER 2017 FBC 403.3.2. RAMP SURFACES 1:12 MAX. SLOPE. WALKING SURFACES 1:20 MAX. SLOPE. CROSS SLOPE OF WALKING SURFACES 1:48 MAX. SLOPE.
3	NEW CONCRETE SLAB, SEE PLAN FOR ELEVATIONS. 5" MINIMUM 3,000 PSI CONC. W/ 5% W/ 40% 4" W.W.P. ON 12" MINIMUM STABILIZED SUBGRADE LIR 40 COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180. 1:48 MAX. CROSS SLOPE.
4	AREA OF SIDEWALK TO BE REMOVED, RE-GRADDED AND REPAIRED PER CIVIL DRAWINGS.

GENERAL NOTES:
1. FIELD VERIFY ALL EXISTING FLOOR ELEVATIONS. INFORM THE OWNER AND ARCHITECT IF DISCREPANCIES ARE FOUND.
2. FIELD VERIFY ALL EXISTING DIMENSIONS. INFORM THE OWNER AND ARCHITECTS IF DISCREPANCIES ARE FOUND.
3. MATCH ALL EXISTING TEXTURES, FINISHES AND COLORS ON WALLS AND FLOORS AS REQ.

GRAY-OUT AREA AND DASHED LINES REPRESENTS SCOPE OF WORK, ALL OTHER PAVEMENT, SIDEWALK WHEELS, STOP AND PARKING STRIPPING TO REMAIN, UNLESS OTHERWISE NOTED.



2 COURTYARD ENTRY RAMP - DEMO
1/8" = 1'-0"



1 ENTRY RAMP - PROPOSED
1/8" = 1'-0"

RG

RG Architects P.A.

2070 McGregor Boulevard, Suite 3
Fort Myers, FL 33901
P (239) 332 2040
F (239) 332 2049
www.rgarchitects.com

LEE COUNTY
SOUTHWEST FLORIDA

ADA Improvements to
Lee County Library
Administration

2345 Union St
Fort Myers, FL 33901

CONSULTANTS

CIVIL ENGINEER:

JOHNSON
ENGINEERING

STRUCTURAL ENGINEER:

SELECT STRUCTURAL
12573 New Highway Blvd
Fort Myers, Florida 33907
Phone: (239) 210-0000
info@selectstructural.com
Professional Seal: 28357

SEAL:
CHARLES R. GUTENKUNT
AA 10052

REVISIONS
NO. DESCRIPTION DATE

DATE ISSUED: 03.16.19

RGA PROJECT NUMBER
1818 008
© 2018 RG ARCHITECTS, P.A.
SHEET TITLE

ENLARGED
COURTYARD
PLAN & RAMP
DETAILS

SHEET NUMBER
A102
100% CDS - FOR GMP

LEE COUNTY SOUTHWEST FLORIDA
**ADA IMPROVEMENTS TO
 NORTHWEST REGIONAL LIBRARY**
 519 CHIQUITA BLVD N, CAPE CORAL, FL 33993

[illegible]

BUILDING CODE SUMMARY

NAME OF PROJECT: ADA IMPROVEMENTS TO NORTHWEST REGIONAL LIBRARY
ADDRESS: 914 GUSTAV BLVD., CA. CAPE CANA, FL, 33909
PROPOSED USE: LIBRARY (AND CHANGE)
OWNER OR AUTHORIZED AGENT: CITY OF FORT MYERS
OWNED BY: () OFF-PUBLICITY () PRIVATE () STATE
CODE ENFORCEMENT JURISDICTION: CITY OF FORT MYERS

FLORIDA BUILDING CODE 17TH EDITION, 2017
FLORIDA PRE-VENTION 17TH EDITION 2017, (NFPA 1 & NFPA 101 FLORIDA SPECIFIC)

BUILDING CODE:
The code is composed of the main volume: the Florida Building Code, Building, which also includes state regulations and amendments relating to the Florida Building Code, Planning, the Florida Building Code, Mechanical, the Florida Building Code, Fuel Gas, the Florida Building Code, Existing Building, the Florida Building Code, Fire Alarm, the Florida Building Code, Electrical, the Florida Building Code, Accessibility and the Florida Building Code, Energy Conservation. The Florida Building Code, Building, adopts the International Building Code, International Building Code, Chapters 27 of the Florida Building Code, Building, the Florida Building Code, Building, NFPA 70, by reference.

CONFORMANCE:
THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY A FLORIDA REGISTERED ARCHITECT, TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THE PLANS AND SPECIFICATIONS ARE SUBMITTED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE AND EDITION AND THE FLORIDA STATUTES (FS), AS WELL AS OTHER LOCAL CODES AND ORDINANCES AS REQUIRED BY LEG. COUNTY.

BUILDING INFORMATION:

TOTAL BUILDING AREA: 40,268 GSF (NO CHANGE)
AREA OF WORK: SITE IMPROVEMENT ONLY
OCCUPANCY CLASS: BUSINESS GROUP 4 (NO CHANGE)
CLASSIFICATION OF WORK: ALTERATIONS - LEVEL 1 PER FBC EXISTING CHAPTER 4

CONSTRUCTION TYPE: I-5.6 PER FBC BUILDING CHAPTER 6
STRUCTURE: CMF F.P.C.
INTERIOR WALLS: CONCRETE MASONRY UNITS
INTERIOR WALL: CONCRETE MASONRY UNITS AND METAL STUD W/GYPSUM WALL BOARD

FIRE RATINGS: NO (CHANGE)
FIRE SPRINKLER: NO (NO CHANGE)

OCCUPANT LOAD: TO REMAIN UNCHANGED

EGRESS: EXISTING EGRESS CONDITIONS TO REMAIN UNCHANGED.

PLUMBING FIXTURES: COUNT TO REMAIN UNCHANGED

THE SCOPE OF WORK INCLUDES SITE IMPROVEMENTS ONLY.

SPECIFICATIONS

DIVISION 1 FRONTEND SECTIONS BY THE CM

NOTE: CONTRACTOR SHALL PROVIDE MATERIALS COMPATIBLE WITH LEE COUNTY 29770016 PREFERRED EQUIPMENT LIST UNLESS "MATCH EQUIPMENT" CREATES CONFLICT AND THE OWNER SHALL DETERMINE APPROPRIATE FINISH OR PRODUCT.

SECTION 04111 BUILDING DEMOLITION

PART 1 - GENERAL

A. RELATED DOCUMENTS
A.1. Allowings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

B. SUMMARY
B.1. Section includes removal and disposal of appliances such as concrete walls and miscellaneous demolition.

SECTION 03300 CONCRETE WORK

A. Includes both building and site concrete work. Concrete work will comply with the Building Code Requirements for Reinforced Concrete of the American Concrete Institute (ACI 308) and Specifications for Structural Concrete for Buildings (ACI-309) including Section 1.5, and all applicable national, state and local codes and regulations.

B. Materials:

1. Reinforcing cement shall conform to ASTM C150, Type I or II.
2. Aggregates shall conform to ASTM C33.
3. Portland cement shall conform to ASTM C150, Grade 1.
4. Wire mesh shall conform to ASTM A182.
5. Reinforcement joint bar stops ASTM D 1782-04 preformed sponge rubber.
6. Wire-reinforcing sections shall comply with ASTM C43.
7. Water shall be clean and free from deleterious amounts of acids, alkalis or organic materials.
8. Provide 10 mil. Vapor Barrier.

C. CONCRETE MIX: shall be prepared and mixed in accordance with ASTM C94 to obtain a minimum 28-day compressive strength of 4,000 psi, with a slump of 3 to 9 inches and 2% maximum entrained air.

END OF SPECIFICATION

SYMBOLS

PLAN NORTH
NORTH ARROW

TRUE NORTH
NORTH ARROW

COLUMN LINE
REFERENCE

INDICATES WINDOW TYPE

KEYNOTE

ROOM
000
000 SF
ROOM NAME, NUMBER
AND AREA

TOILET ACCESSORIES

CENTER LINE

HIDDEN LINE OR
LINE ABOVE

DETAIL NO. 3
SHEET NO. A4.12

BUILDING OR WALL
SECTION

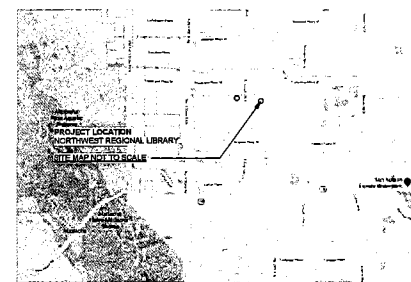
DETAIL NO. 25
SHEET NO. A4.15
DETAIL REFERENCE

DETAIL NO. 6
SHEET NO. A4.11
ELEVATION

DETAIL NO. 8
SHEET NO. A4.11
INTERIOR
ELEVATION

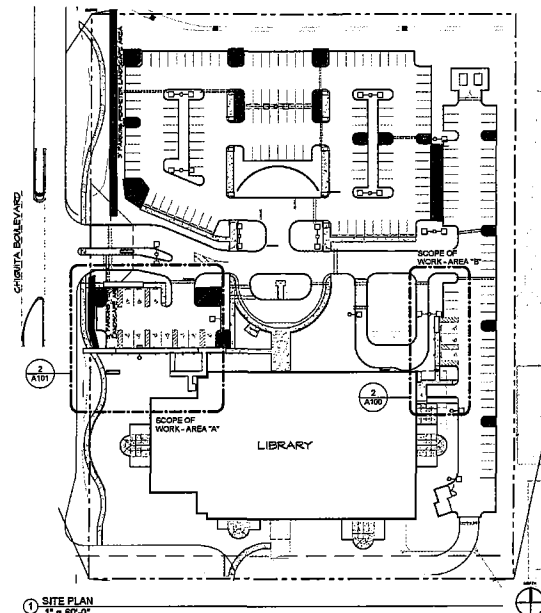
WALL PARTITION
TYPE. SEE A002

SHEET INDEX	
Sheet #	Sheet Name
A000	INDEX CODE SUMMARY, SITE PLAN, ABBREVIATIONS & SYMBOLS
G001	COVER CIVIL
G002	GENERAL NOTES, ABBREVIATIONS & LEGEND
G003	AERIAL PHOTOGRAPHY & EXISTING UTILITIES PLAN
G004	EXISTING CONDITIONS & DEMOLITION PLAN
G005	EXISTING CONDITIONS & DEMOLITION PLAN
G006	SITE, PAVING, GRADING & DRAINAGE PLAN
G007	SITE, PAVING, GRADING & DRAINAGE PLAN
G008	TYPICAL DETAILS
A009	ENLARGED DEMOLITION PLANS
A010	ENLARGED PROPOSED PLANS & DETAILS



PROJECT VICINITY PLAN

SITE MAP NO.
TO SCALE



① SITE PLAN
1" = 60'-0"

RG Architects P.A.

2070 McGregor Boulevard, Suite 3
Fort Myers, FL 33901

P (239) 332 2040
F (239) 332 2040

P (2-9) 332 2049
www.rgarchitects.co



ADA Improvements to Northwest Regional Library

519 Chiquita Blvd N
Cape Coral, FL 33993

CONSULTANTS

CIVIL ENGINEER:

JOHNSON
ENGINEERING

SEAL
CHARLES R. GUTEKUNST
AR 10652

[illegible]

DATE ISSUED: 03.19.19

RGA PROJECT NUMBER

1818 002

© 2016 RG ARCHITECTS, P.A.

SHEET TITLE

INDEX, CODE
SUMMARY, SITE
PLAN,
ABBREVIATIONS
& SYMBOLS

SHEET NUMBER
A000
100% CD'S - for GMP

3/16/2019 4:28:40 PM

UTILITIES PROVIDING SERVICE:

WATER AND SEWER:

CITY OF CAPE CORAL UTILITIES
1015 CULTURAL PARK BOULEVARD
CAPE CORAL, FLORIDA 33900
PHONE: (239) 574-0401

TELEPHONE:

COMCAST
1418 SE 10TH STREET
CAPE CORAL, FLORIDA 33900
PHONE: (800) 268-2278

CABLE:

COMCAST
1418 SE 10TH STREET
CAPE CORAL, FLORIDA 33900
PHONE: (800) 268-2278

ELECTRIC:

LEE COUNTY ELECTRIC COOPERATIVE
4880 BAYLINE DRIVE
FORT MYERS, FLORIDA 33917
PHONE: (239) 858-2300
FAX: (239) 995-4287

GARBAGE COLLECTION:

WASTE PRO
13110 RICKENBACKER PARKWAY
FORT MYERS, FLORIDA 33913
PHONE: (239) 337-0800
FAX: (239) 225-2758

FIRE CONTROL DISTRICT:

CAPE CORAL FIRE DISTRICT
1115 SE 9TH AVENUE
CAPE CORAL, FLORIDA 33900
PHONE: (239) 574-0501

CONSTRUCTION PLANS FOR ADA IMPROVEMENTS AT NORTHWEST REGIONAL LIBRARY

SECTION 10, TOWNSHIP 44 S., RANGE 23 E.
LEE COUNTY, FLORIDA

OWNER

LEE COUNTY
PO BOX 398
FORT MYERS, FL 33902

STRAP NUMBER

10-44-23-C1-00001.0010

PROJECT LIMIT

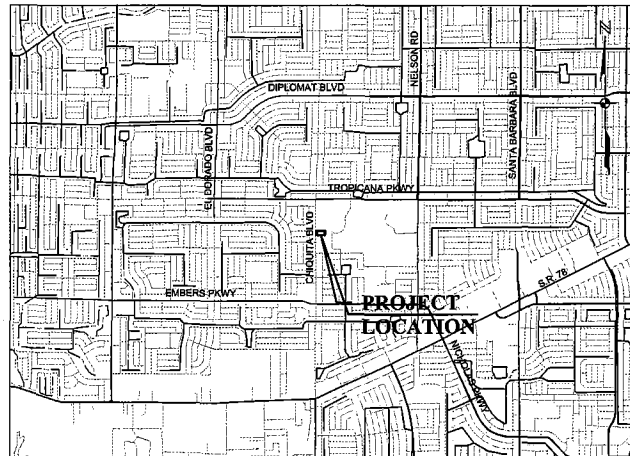
±0.22 AC

ZONING

INST

Sheet List Table

Sheet Number	Sheet Title
C01	COVER
C02	GENERAL NOTES, ABBREVIATIONS, & LEGEND
C03	AERIAL PHOTOGRAPH & EROSION CONTROL PLAN
C04	EXISTING CONDITIONS & DEMOLITION PLAN
C05	EXISTING CONDITIONS & DEMOLITION PLAN
C06	SITE, PAVING, GRADING, & DRAINAGE PLAN
C07	SITE, PAVING, GRADING, & DRAINAGE PLAN
C08	TYPICAL DETAILS



LOCATION MAP

0 3,000 6,000
(INTENDED DISPLAY SCALE: 1"=3,000')

JULY 2018

REVISED: MARCH 2019



JOHNSON
ENGINEERING

JOHNSON ENGINEERING, INC.
2122 JOHNSON STREET
P.O. BOX 1930
FORT MYERS, FLORIDA 33902-1550
PHONE: (239) 334-0048
FAX: (239) 334-3681
C.E. #642 & L.S. #642

REGISTERED PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 82277

TYLER M. SHARPE, PE

DATE

100% CONSTRUCTION DOCUMENTS

SHEET NUMBER
C01

EXHIBIT F

ABBREVIATIONS

[illegible]

SYMBOLS

	DATE VALVE		WIDENING SERVICE (DOUBLE)
	TEE ASSEMBLY		FLARING SERVICE (SINGLE)
	REDUCER		SEIZE SERVICE (DOUBLE)
	BLOW OFF		SEIZE SERVICE (SINGLE)
	FIRE HYDRANT		WATER SERVICE (DOUBLE)
	FIRE HYDRANT ASSEMBLY W/ GATE VALVE		WATER SERVICE (SINGLE)
	WATERED END SECTION		HEADWALL
	MANHOLE W/ NUMBER		DRAINAGE INLET (SEE PLAN FOR TYPES)
	PLUG VALVE		THROAT INLET
			FLARED END SECTION

HATCH PATTERNS

	WETLAND		EXISTING LAKE TO BE FILLED
	UPLAND BUFFER		PROPOSED LAKE
	UPLAND PRESERVE		LITTORAL SHELF AREA
	INDIGENOUS AREA		COMPENSATING LITTORAL PLANTING AREA
	NATURAL AREA		RIPRAP / GRAVEL
	FILTER MARSH		BRICK PAVERS
	EXISTING LAKE	NOTE: MATCH PATTERNS ARE FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL MATCH PATTERNS OF DRAWING MAY VARY BY SCALE & USAGE.	

LINETYPES

	EXISTING	PROPOSED
RICH-OF-WAY LINE	_____	_____
CENTER LINE	_____	_____
LINE MAINTENANCE EASEMENT	_____	_____
PUBLIC UTILITY EASEMENT	_____	_____
DRAINAGE EASEMENT	_____	_____
WETLAND BOUNDARY	_____	_____
FORCE MAIN	_____	_____ F/M
SEWAGE SERVICE	_____	_____ S/S
WATER MAIN	_____	_____ W/M
IRIGATION MAIN	_____	_____ I/M
RE-USE MAIN	_____	_____ R/U
POWDER BURN	_____	_____
FORCE LINE	_____	_____
SEWER PRICE	_____	_____
BIOLAND	_____	_____
STRUCTURAL BUFFER	_____	_____

GENERAL NOTES:

1. ELEVATIONS REFERENCE TO NGVD 1928. CONVERSION TO NAVD 1988 IS NGVD 1928 (+/-) 1.10 + NAVD 1988.
2. THIS PROJECT WILL NOT ADVERSELY IMPACT ANY SURFACE WATER OR SUBSURFACE WATER RESOURCES.
3. THE LOCATION OF EXISTING UTILITIES, PAVEMENT, VEGETATION, AND MISCELLANEOUS IMPROVEMENTS ARE APPROPRIATE. ONLY THE EXACT LOCATION SHALL BE FIELD LOCATED BY THE CONTRACTOR. IF ANY PUBLIC LAND CONTAINS WITHIN THE LIMITS OF CONSTRUCTION IS PROTECTED, IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFINERENCED, THE CONTRACTOR SHALL NOTIFY THE BUREAU OF LAND MANAGEMENT IMMEDIATELY.
4. EXISTING FACILITIES SHALL BE RESTORED TO A CONDITION EQUIVALENT TO THAT WHICH EXISTED PRIOR TO COMPLETION OF CONSTRUCTION, AT NO COST TO THE STATE OF FLORIDA.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, ROADWAY AND TRAFFIC DESIGN STANDARDS, (LATEST EDITION), CITY OF CAPE CORAL, DEVELOPMENT ORDINANCES AND SPECIFICATIONS AND CITY OF CAPE CORAL UTILITIES REQUIREMENTS.
6. LOCATIONS OF INLETS AND STORM DRAINS MAY BE FIELD ADJUSTED TO PROVIDE FOR PROPER DRAINAGE AND FLOW CHARACTERISTICS.
7. THE CONTRACTOR IS REQUIRED TO ADJUST ALL VALVE BOXES, MANHOLE RIMS, GRATES, ETC AS NECESSARY TO MATCH PROPOSED GRADES.
8. CONTRACTOR SHALL NOTIFY THE CITY OF CAPE CORAL DIVISION OF DEVELOPMENT REVIEW A MINIMUM OF 72 HOURS PRIOR TO ALL REQUIRED INSPECTIONS.
9. CONTRACTOR TO PROVIDE SUFFICIENT AND OTHER APPROPRIATE MEASURES TO EFFECT THE FILTRATION OF SURFACE WATER FLOWS AND TO PROVIDE FOR PROTECTION FROM EROSION AND DAMAGE TO EXISTING OR REMAINING STRUCTURES. THE DRAINAGE SYSTEM SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD UNTIL DISBURSED SOLIDS HAVE BEEN STABILIZED WITH GRASS OR SUITABLE DRAINAGE PROTECTION TECHNIQUES.
10. ALL UNPAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDDED AND MULCHED UNLESS OTHERWISE NOTED OTHERWISE.
11. DISTRICT OFF-SITE-DRAINAGE PATTERNS SHALL BE MAINTAINED DURING CONSTRUCTION.
12. CONTRACTOR SHALL RETURN ON THE WORK SITE, COPIES OF ANY PERMITS NECESSARY FOR CONSTRUCTION.
13. CONTRACTOR SHALL PROMPTLY REPORT ALL FIELD CHANGES TO THE ENGINEER.
14. SITE CHANGES MAY BE REQUESTED BY FIELD BY ENGINEER.
15. CONTRACTOR SHALL USE DESIGNATED CONSTRUCTION ENTRANCES FOR EMPLOYEES AND DELIVERY OF MATERIALS.
16. THE LOCATIONS OF EXISTING UTILITIES AND STORY STREAMS SHOWN ON THE PLAN HAVE BEEN TAKEN FROM RECORD DRAWINGS AND FIELD INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE MOST CURRENT LOCATION PRIOR TO CONSTRUCTION AND PROVIDE IN WRITING ANY CORRECTIONS.
17. DURING CONSTRUCTION, DRAIN INLET AND APPROXIM BOX OPENINGS SHALL BE COVERED WITH FLAT PLATE (MINARI LAMB OR EQUIV) SOLEAD TO PREVENT DEBRIS AND FILL FROM FALLING INTO THE INLET.
18. THE CONTRACTOR SHALL ACCURATELY PLOT THE LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND STORY STREAMS. THE CONTRACTOR SHALL PROVIDE DRAWINGS WHICH SHALL BE DELIVERED TO THE ENGINEER.
19. CONTRACTOR IS REQUIRED TO OBTAIN FROM THE OWNER AND CMMR WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
20. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND VEHICLE FLOW OF THE EXISTING STREETS ADJACENT TO THE PROJECT, ALL TRAFFIC SIGNALS, LIGHTS, AND SIGNAGE SHALL BE MAINTAINED IN ACCORDANCE WITH THE MANUAL OF TRAFFIC CONTROL, AND SAVE PROVISIONS FOR STREET AND HIGHWAY CONSTRUCTION.
21. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH APPLICABLE REGULATION

PAVING, GRADING AND DRAINAGE NOTES:

1. THIS SITE CANNOT BE UTILIZED SAFELY FOR BUILDING PURPOSES WITHOUT UNDOING DAMAGE FROM FLOODINGS OR ADVERSE SOIL CONDITIONS.
2. LENGTH OF STORM DRAIN PIPES ARE APPROXIMATE AND ARE MEASURED FROM CENTER OF STRUCTURE.
3. CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES TO LOCATE ALL UTILITIES IN THE AREA 72 HOURS (MIN) PRIOR TO COMMENCING CONSTRUCTION.
4. THE STORM DRAINAGE PIPING AND FILTRATION SYSTEM SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER (THE OWNER'S ENGINEER) PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE OWNER IN WRITING 72 HOURS PRIOR TO THE PLACEMENT OF BACKFILL.
5. THE CONTRACTOR SHALL MAINTAIN THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE STORM SYSTEM WILL BE COMPLETED BY THE OWNER'S ENGINEER PRIOR TO FINAL ACCEPTANCE.
6. FINISHED GRADE OUTSIDE OF BUILDINGS MUST BE 6" BELOW THE FINISHED FLOOR ELEVATION.
7. FINISHED GRADE ALONG EDGE OF PAVEMENT MUST BE AT LEAST 3" BELOW THE FINISHED FLOOR ELEVATION.

SIGNING AND PAVEMENT MARKING NOTES:

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH FOOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION), AND THE CURRENT LEE COUNTY CONTROL DEVICES (LATEST EDITION) AND THE CURRENT LEE COUNTY DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
2. MATCH EXISTING PAVEMENT MARKINGS AT EXISTING ROADS.
3. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH THE FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).
4. CONTRACTOR SHALL SET ROADWAY GROUND MOUNT SIGNS AT PROPER DEFLECTION ANGLE TO THE ROADWAY IN ACCORDANCE WITH FOOT INDEX NUMBER 17302.
5. SEE FOOT INDEX NUMBERS 17346 AND 17352 FOR ADDITIONAL DETAILS.

SITE DEMOLITION:

1. ANY SITE DEMOLITION IS BASED ON AVAILABLE INFORMATION PROVIDED TO ENGINEER AND MAY NOT COVER ALL ASPECTS OF THE PROJECT, INCLUDING BUT NOT LIMITED TO IRRIGATION UNES/SERVICES AND ELECTRICAL SERVICES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COVER ALL EXISTING IMPROVEMENTS TO BE REMOVED IN THEIR DEMOLITION BUDGET.

EXISTING UTILITY NOTE:

CONTRACTOR TO CONTACT "SUNSHINE 811" FOR LOCATES TWO BUSINESS DAYS BEFORE YOU DIG. 1-800-432-4770. STATE, COUNTIES, AND CITIES ARE NOT PART OF THE ONE CALL SYSTEM, THEY MUST BE CALLED INDIVIDUALLY.

CITY OF CAPE CORAL
STANDARD DETAIL NOTES:

ALL REFERENCES TO CITY OF CAPE CORAL STANDARD DETAILS ARE FROM THE CITY OF CAPE CORAL (LATEST EDITION) ENGINEERING DESIGN STANDARDS. THESE STANDARD DETAILS WERE PREPARED BY OR AT THE DIRECTION OF THE CITY OF CAPE CORAL AND WERE FURNISHED TO JOHNSON ENGINEERING, INC.

THE STANDARD DETAILS REFERENCED WITHIN THIS PLAN SET HAVE BEEN INCORPORATED HEREIN VERBATIM AS SET FORTH WITHIN THE ABOVE REFERENCED CITY OF CAPE CORAL ENGINEERING DESIGN STANDARDS.

THE STANDARD DETAILS REFERENCED WITHIN THIS PLAN SET HAVE BEEN INCORPORATED
HEREIN VERBATIM AS SET FORTH WITHIN THE ABOVE REFERENCED CITY OF CAPE CORAL
ENGINEERING DESIGN STANDARDS.

JOHNSON
ENGINEERING

JOHNSON ENGINEERING, INC.
2122 JOHNSON STREET
FORT MYERS, FLORIDA 33901
PHONE: (238) 334-0848
FAX: (238) 334-3851
E.B. 8942 & L.B. 8942

TYLER M. SHARPE, PE
FL License No. 82277



Lee County
Library System
Since 1964

FLORIDA IMPROVEMENTS AT NORTHWEST
REGIONAL LIBRARY
LEE COUNTY, FLORIDA

[illegible]

DATE: JULY 2018
PROJECT NO. 20151180-000
FILE NO. 10-44-23
SCALE: As Shown

GENERAL NOTES, ABBREVIATIONS, & LEGEND

SHEET NUMBER

C02

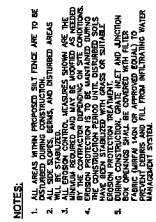
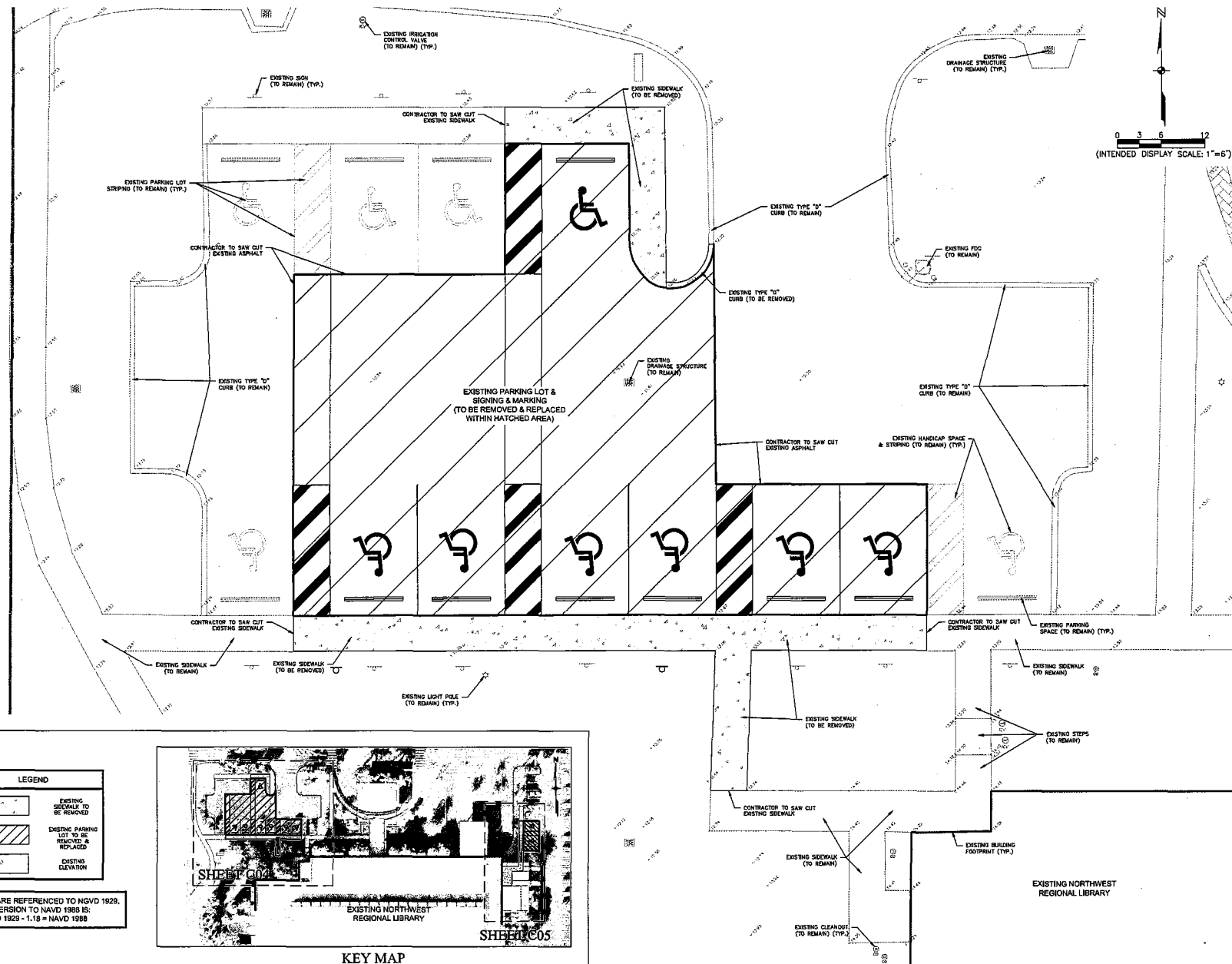


EXHIBIT F



JOHNSON ENGINEERING, INC.
2122 JOHNSON STREET
FORT MYERS, FLORIDA 33801
PHONE: (239) 334-0948
FAX: (239) 334-3881
E.B. #642 & L.B. #642

TYLER W. SHARPE, PE
FL License No. 02277

 Lee County
Library System
Since 1964

ADA IMPROVEMENTS AT NORTHWEST
REGIONAL LIBRARY
LEE COUNTY, FLORIDA

[illegible]

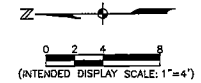
DATE:	JULY 2018
PROJECT NO.	20181180-000
FILE NO.	10-44-23
SCALE:	As Shown

**EXISTING
CONDITIONS &
DEMOLITION PLAN**

SHEET NUMBER

C04

EXHIBIT F



**JOHNSON
ENGINEERING**

JOHNSON ENGINEERING, INC.
2152 JOHNSON STREET
FORT MYERS, FLORIDA 33901
PHONE: (239) 334-0000
FAX: (239) 224-2881
E.A. 902 & L.A. 902

TYLER M. SHAWPE, P.E.
FL. License No. 12177



ADA IMPROVEMENTS AT NORTHWEST
REGIONAL LIBRARY
LEE COUNTY, FLORIDA

REVISIONS

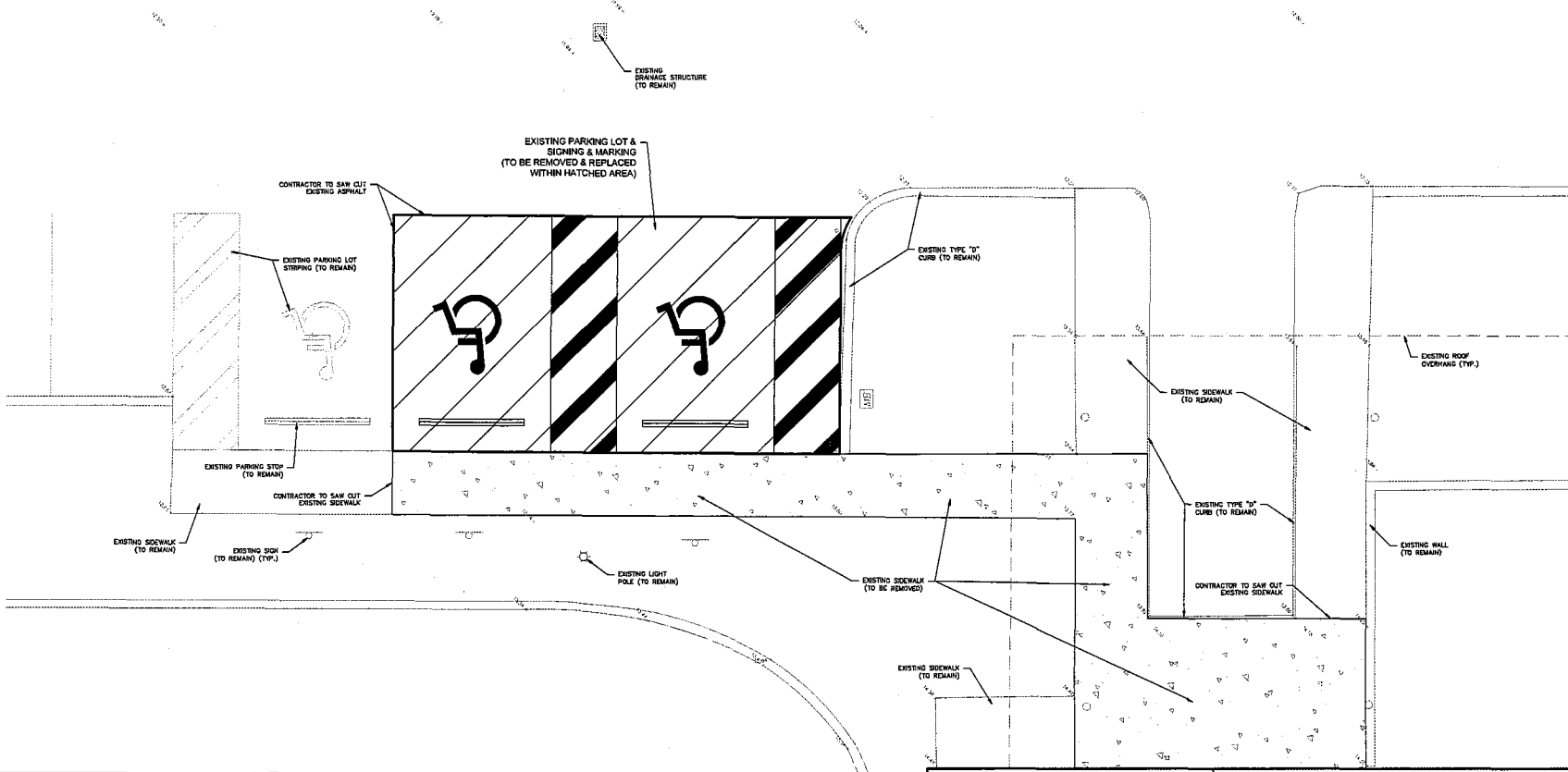
NO.	DATE	DESCRIPTION

DATE: JULY 2018
PROJECT NO. 20181180-000
FILE NO. 10-44-23
SCALE: As Shown

EXISTING
CONDITIONS &
DEMOLITION PLAN

SHEET NUMBER

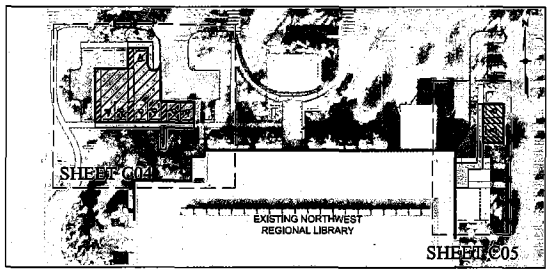
C05



LEGEND

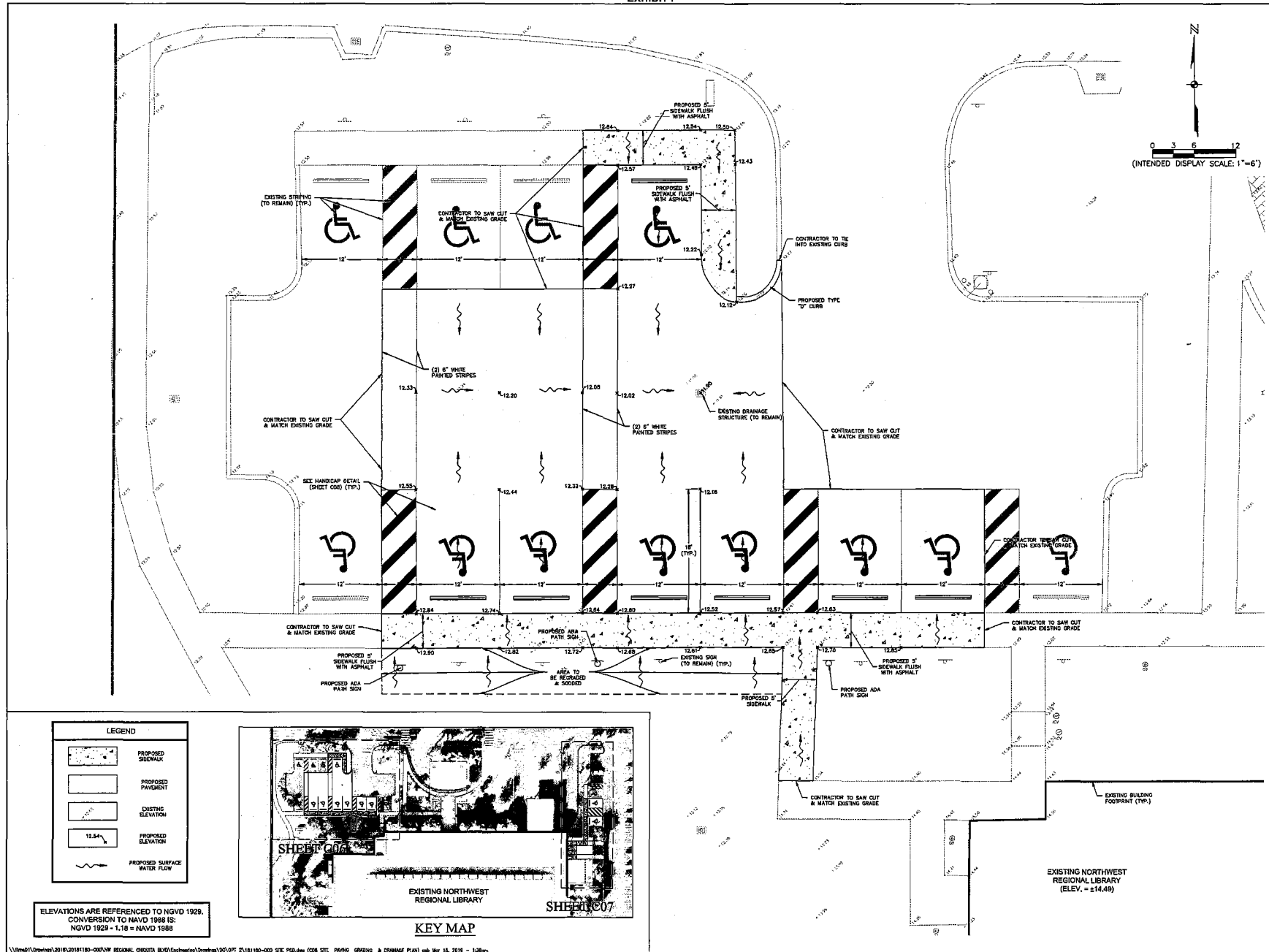
	EXISTING SIDEWALK TO BE REMOVED
	EXISTING PARKING LOT TO BE REMOVED & REPLACED
	EXISTING ELEVATION

ELEVATIONS ARE REFERENCED TO NGVD 1929.
CONVERSION TO NAVD 1988 IS:
NGVD 1929 - 1.18 = NAVD 1988



KEY MAP

EXHIBIT F



JOHNSON ENGINEERING, INC.
4022 JOHNSON STREET
FORT MYERS, FLORIDA 33901
PHONE: (239) 334-0048
FAX: (239) 334-0081
E.L. #42 & L.B. #42

THOMAS M. SHAW, P.E.
FL. License No. 48177

Lee County Library System
Since 1964

ADA IMPROVEMENTS AT NORTHWEST
REGIONAL LIBRARY
LEE COUNTY, FLORIDA

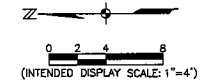
NO.	DATE	DESCRIPTION

DATE: JULY 2018
PROJECT NO. 20181180-000
FILE NO. 10-44-23
SCALE: As Shown

SITE, PAVING,
GRADING, &
DRAINAGE PLAN

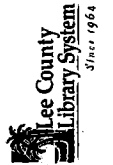
SHEET NUMBER
C06

EXHIBIT F



JOHNSON
ENGINEERING
JOHNSON ENGINEERING, INC.
3122 JOHNSON STREET
FORT MYERS, FLORIDA 33901
PHONE: (239) 334-0046
FAX: (239) 334-0047
E.A. #443 & L.R. #442

FLOR. U. SAMPLE, P.E.
FL. LICENSE NO. 00077



ADA IMPROVEMENTS AT NORTHWEST
REGIONAL LIBRARY
LEE COUNTY, FLORIDA

REVISIONS

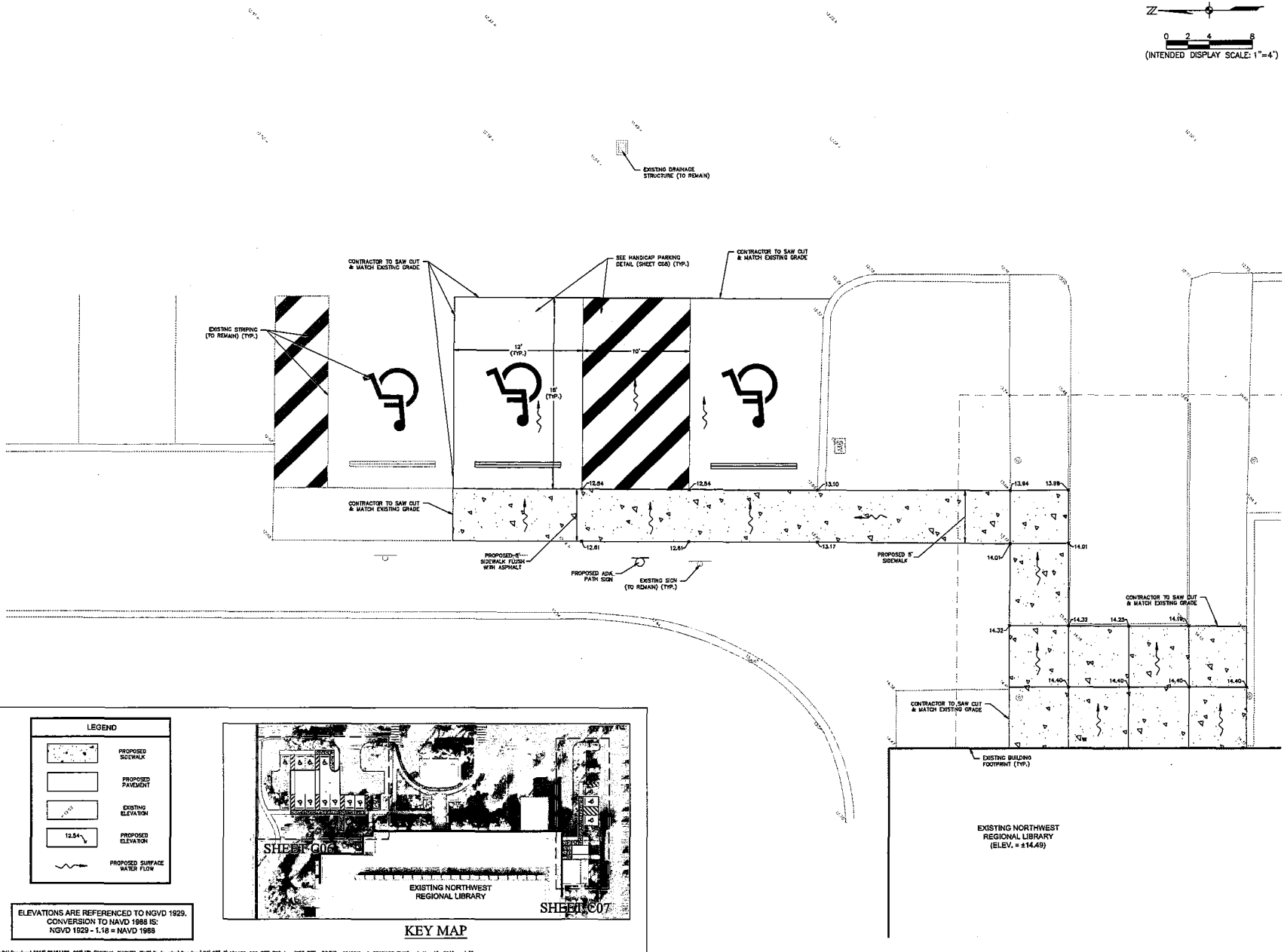
NO.	DATE	DESCRIPTION

DATE: JULY 2018
PROJECT NO. 20181180-000
FILE NO. 10-44-23
SCALE: As Shown

SITE, PAVING,
GRADING, &
DRAINAGE PLAN

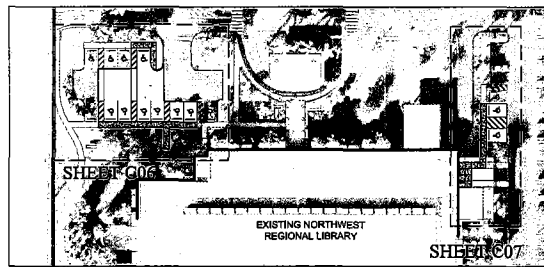
SHEET NUMBER

C07



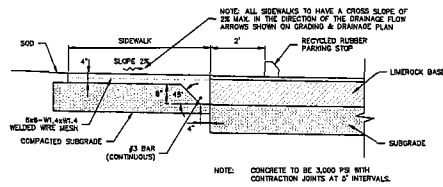
LEGEND	
	PROPOSED SIDEWALK
	PROPOSED PAVEMENT
	EXISTING ELEVATION
	PROPOSED ELEVATION
	PROPOSED SURFACE WATER FLOW

ELEVATIONS ARE REFERENCED TO NGVD 1929.
CONVERSION TO NAVD 1988 IS:
NGVD 1929 - 1.18 = NAVD 1988

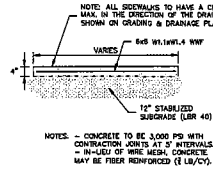


KEY MAP

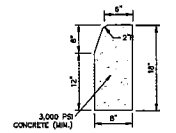
EXHIBIT F



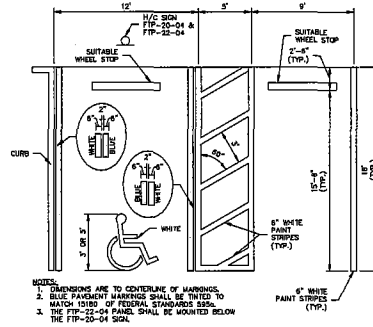
SIDEWALK DETAIL (WHEN FLUSH WITH PAVEMENT)
N.T.S.



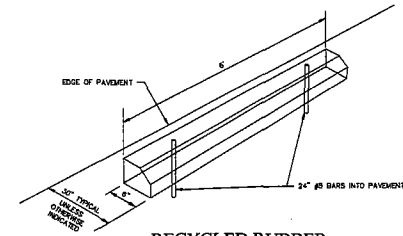
SIDEWALK DETAIL
N.T.S.



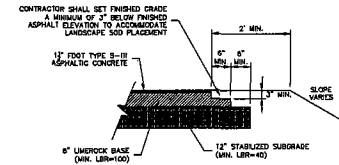
TYPE "D" CURB
N.T.S.



HANDICAP / STANDARD PARKING DETAIL
N.T.S.



RECYCLED RUBBER WHEEL STOP
N.T.S.



TYPICAL PAVEMENT SECTION
N.T.S.

JOHNSON ENGINEERING

JOHNSON ENGINEERING, INC.
3122 JOHNSON STREET
PORT MYRTLE BEACH, FLORIDA 33557
PHONE (202) 334-0046
FAX (202) 334-0046
E.L. #42 & L.B. #42

TUDOR M. SHAW, P.E.
FL. License No. 92177

Lee County Library System
Since 1964

ADA IMPROVEMENTS AT NORTHWEST
REGIONAL LIBRARY
LEE COUNTY, FLORIDA

REVISIONS

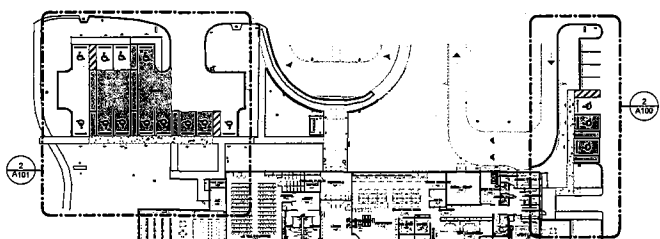
NO.	DATE	DESCRIPTION

DATE: JULY 2016
PROJECT NO. 20161100-000
FILE NO. 10-44-23
SCALE: As Shown

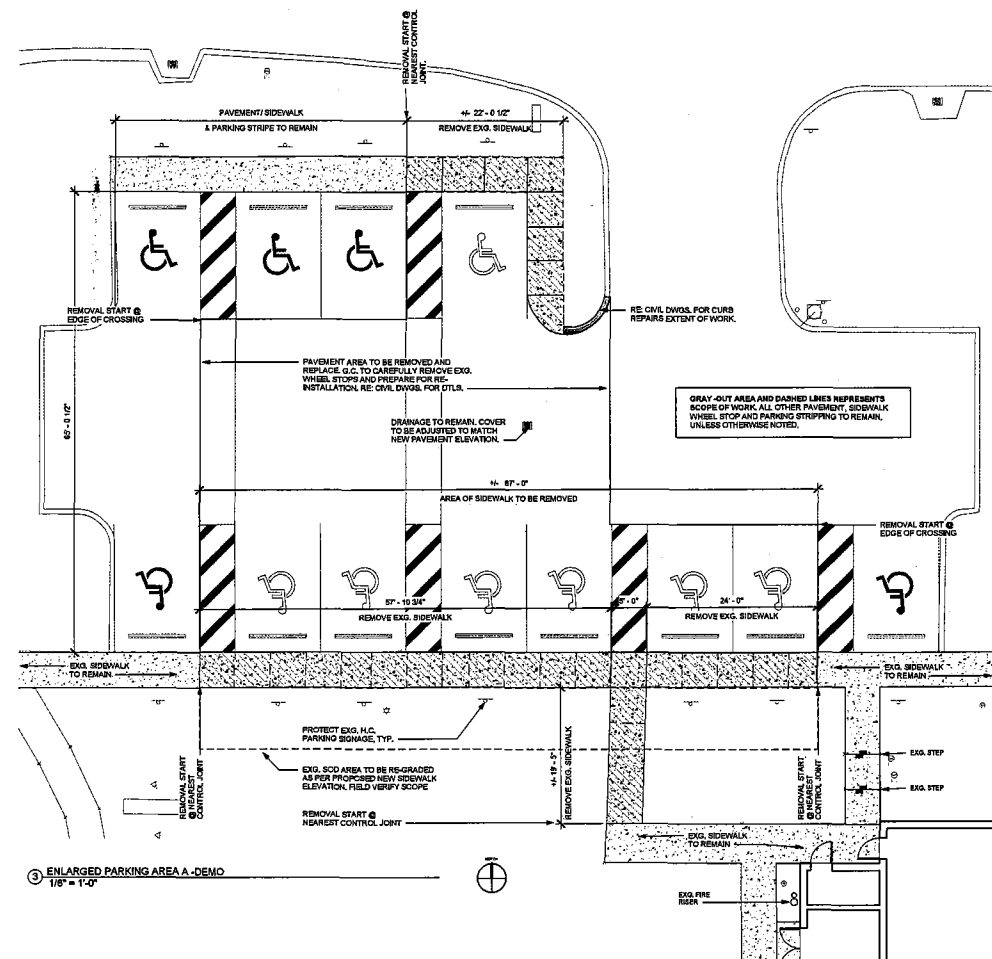
TYPICAL DETAILS

SHEET NUMBER

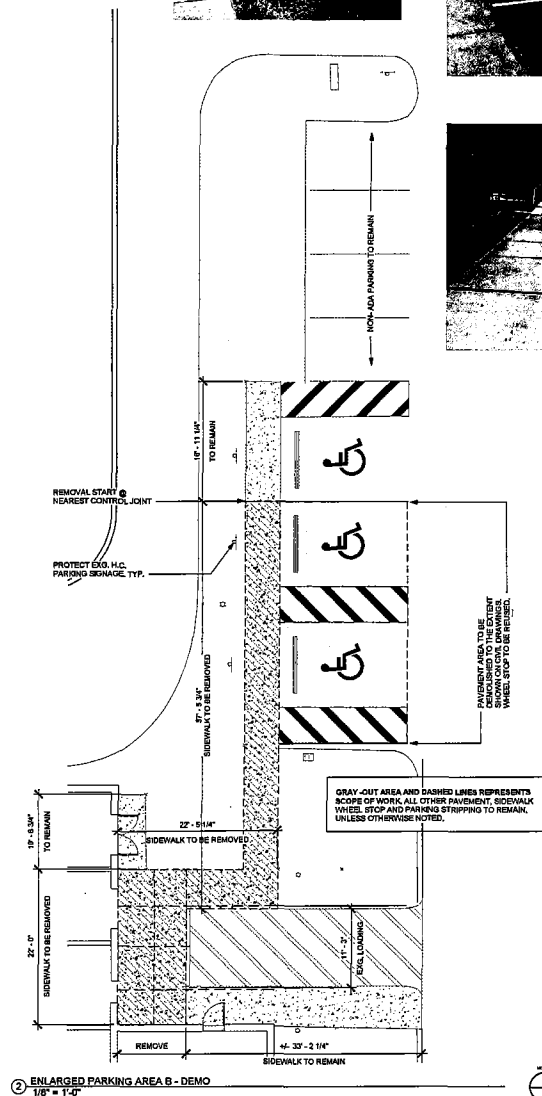
C08



① OVERALL FLOOR PLAN
1" = 40'-0"



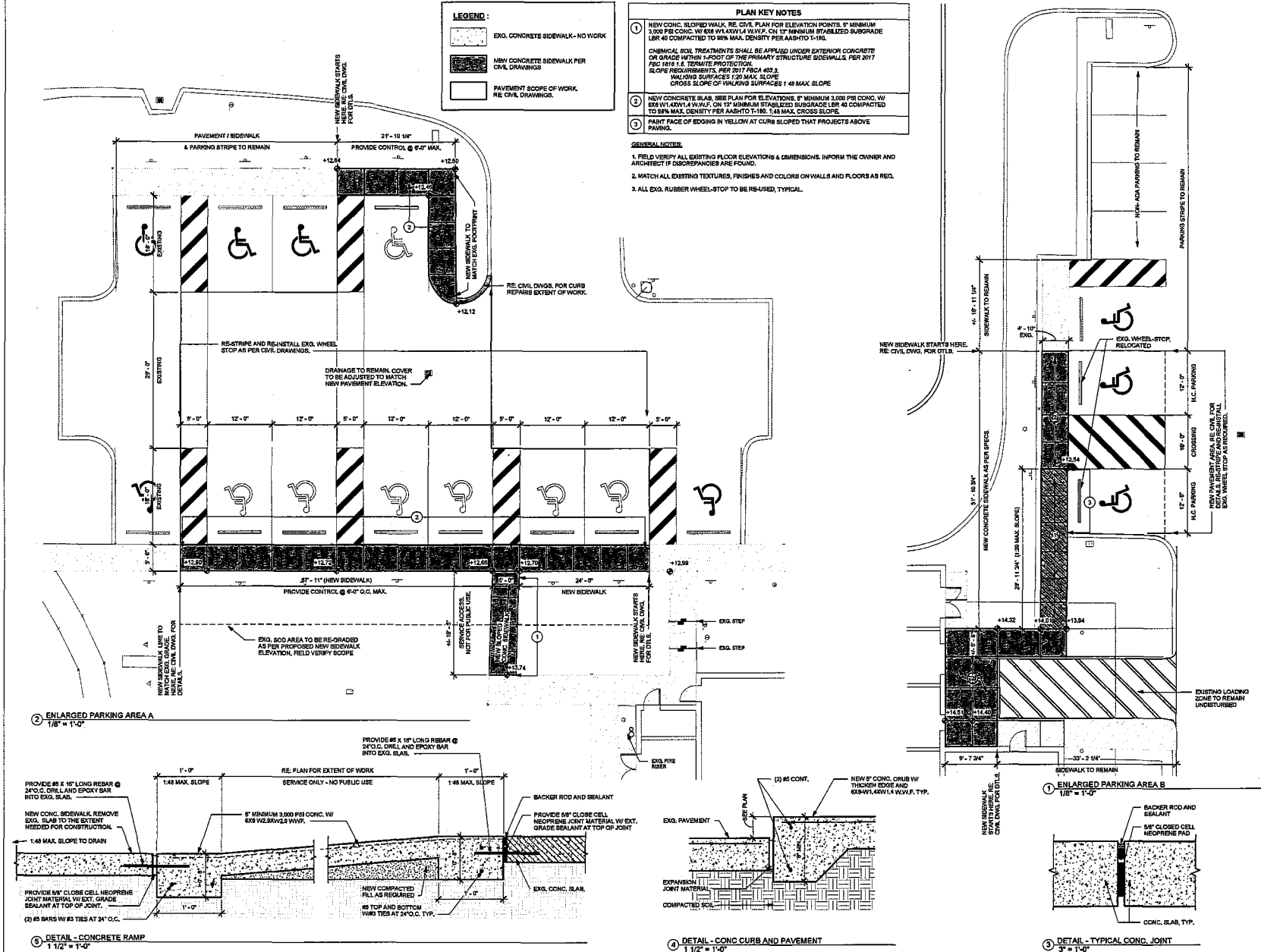
③ ENLARGED PARKING AREA A - DEMO
1/8" = 1'-0"



② ENLARGED PARKING AREA B - DEMO
1/8" = 1'-0"

3/18/2019 4:28:45 PM

EXHIBIT F



RG
RG Architects P.A.
2070 McGregor Boulevard, Suite 3
Fort Myers, FL 33901
P (239) 532 2040
F (239) 532 2049
www.rgarchitects.com

LEE COUNTY
SOUTHWEST FLORIDA
ADA Improvements to
Northwest Regional
Library

519 Chiquita Blvd N
Cape Coral, FL 33993

CONSULTANTS
CIVIL ENGINEER:
JOHNSON
ENGINEERING

SEAL:
CHARLES R. GUTERKUNT
AR 10692

NO.	REVISIONS	DESCRIPTION	DATE
1	1815 002		

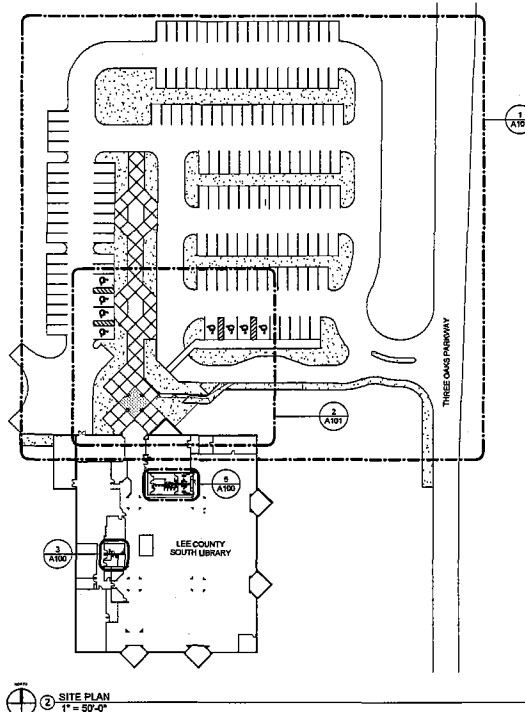
DATE ISSUED: 03.19.19
RGA PROJECT NUMBER: 1815 002
© 2018 RG ARCHITECTS, P.A.
SHEET TITLE: ENLARGED PROPOSED PLANS & DETAILS
SHEET NUMBER: **A101**
100% CD'S - for GMP

3/18/2019 4:28:50 PM

LEE COUNTY SOUTHWEST FLORIDA

ADA IMPROVEMENTS TO LEE COUNTY SOUTH LIBRARY

21100 THREE OAKS PKWY, ESTERO, FL 33928

[illegible]

SYMBOLS

	PLAN NORTH NORTH ARROW		INDICATES WINDOW TYPE		DETAIL NO. 3 SHEET NO. A5.12		DETAIL NO. 6 SHEET NO. A4.11
	TRUE NORTH NORTH ARROW		KEYNOTE		BUILDING OR WALL SECTION		DETAIL NO. 6 SHEET NO. A4.11
	COLUMN LINE REFERENCE		ROOM NAME, NUMBER AND AREA		DETAIL REFERENCE		INTERIOR ELEVATION
	TOILET ACCESSORIES		CENTER LINE		DOOR NUMBER		WALL PARTITION TYPE. SEE A002
	HIDDEN LINE OR LINE ABOVE						

SHEET INDEX				
Sheet #	Sheet Name	Sheet Issue Date	Current Revision	Current Revision Description
A000	INDEX, ABBREVIATIONS & SYMBOLS	02/01/19		
C001	COVER - CIVIL	03/15/19		
C002	ABBREVIATIONS, LEGEND & GENERAL NOTES	03/15/19		
C003	PERMIT, PHOTOGRAPHY & EROSION CONTROL PLAN	03/15/19		
C004	STABILIZATION & REVEGETATION PLAN	03/15/19		
C005	PILE PAVING, GRADING & DRAINAGE PLAN & TYPICAL DETAILS	03/15/19		
A100	FLOOR PLAN & DETAILS	03/15/19		
A101	UNGRADED ENTRY PLAN	03/15/19		
A102	UNUSUAL/ODD DETAILS & SPECIFICATIONS	03/15/19		

BUILDING CODE SUMMARY

NAME OF PROJECT: ADO IMPROVEMENTS TO LE COUNTY SOUTH LIBRARY
ADDRESS: 21100 THIRDS CROSS PKWY, SUITE A, 33025
PROPOSED USE: LIBRARY (NO CHANGES)
OWNER OR AUTHORIZED AGENT: LE COUNTY FACILITIES
OWNED BY: () GOVT/CITYCOUNTY () PRIVATE () STATE
CODE ENFORCEMENT JURISDICTION: VILLAGE OF ESTERO

FLORIDA BUILDING CODE 7TH EDITION, 2017
FLORIDA FIRE PREVENTION 6TH EDITION, 2017 (NFPA 1 & NFPA 101 FLORIDA SPECIFIC)

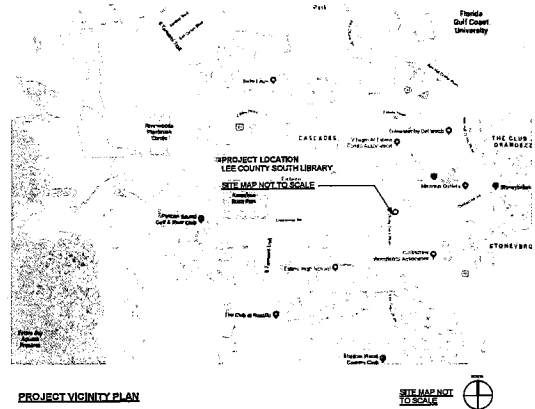
FLORIDA BUILDING CODE:
This code is composed of the main provisions, the Florida Building Code, building, which also includes rule regulations for licensed-to-install, the Florida Building Code, Plumbing, the Florida Building Code, Mechanical, the Florida Building Code, Fuel Gas, the Florida Building Code, Electrical, the Florida Building Code, Residential, the Florida Building Code, Energy Efficiency, the Florida Building Code, Accessibility, and the Florida Building Code, Trade Practices for highly-hazardous materials. Chapter 27 of the Florida Building Code, Building, adopts the International Electrical Code, NFPA 70, by reference.

COMPLIANCE STATEMENT:
THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED BY A FLORIDA REGISTERED ARCHITECT, TO THE BEST OF OUR KNOWLEDGE THESE PLANS AND SPECIFICATIONS ARE DESIGNED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 7TH EDITION AND FLORIDA STATUTES (F.S.) AS WELL AS OTHER CODES AND ORDINANCES AS ADOPTED BY LEAD AGENCY.

BUILDING INFORMATION:
TOTAL BUILDING AREA: 32,949 SQ.FT. (NO CHANGE)
AREA OF WORK: 881 GSF
OCCUPANCY CLASS: BUSINESS B (NO CHANGE)
CLASSIFICATION OF WORK: ALTERATIONS - LEVEL 2 PER FBC EXISTING CHAPTER 4
CONSTRUCTION TYPE: 4-4 PER FBC BUILDING CHAPTER 6
STRUCTURE: CAST IN PLACE CONCRETE
EXTERIOR WALLS: CONCRETE MASONRY UNITS
INTERIOR WALLS: CONCRETE MASONRY UNITS AND METAL STUD W/ GYPSUM WALL BOARD
FIRE RATING: NO (NO CHANGE)
FIRE SPRINKLER: NO (NO CHANGE)

OCCUPANT LOAD - TO REMAIN UNCHANGED
EGRESS - EXISTING EGRESS CONDITIONS TO REMAIN UNCHANGED

2017 FLORIDA BUILDING CODE: PLUMBING TABLE 403
OCCUPANT / TOTAL AREA: 32,949 SQ.FT. W.C. UNITS LAVATORIES DRINKING FOUNTAINS
329 OCCUP (164 F & 164 F) 1 PER 25 F & 1 PER 50 EXISTING NO 1 PER 40 F & 1 PER 80 EXISTING NO 1 PER 100
MALE FEMALE MALE FEMALE
TOTAL REQUIRED 4 2 25 25
TOTAL PROVIDED 8 2 8 8 2



UTILITIES PROVIDING SERVICE:WATER AND SEWER:

LEE COUNTY UTILITIES
1500 MONROE ST
FORT MYERS, FLORIDA 33901
PHONE: (239) 533-8181

TELEPHONE:

COMCAST
12641 CORPORATE LAKES DRIVE
FORT MYERS, FLORIDA 33913
PHONE: (800) 266-2276

CABLE:

COMCAST
12641 CORPORATE LAKES DRIVE
FORT MYERS, FLORIDA 33913
PHONE: (800) 266-2276

ELECTRIC:

FLORIDA POWER & LIGHT COMPANY
15834 WINKLER ROAD
FORT MYERS, FLORIDA 33908
PHONE: (239) 415-1326

GARBAGE COLLECTION:

ADVANCED DISPOSAL
17101 PINE RIDGE ROAD
FORT MYERS BEACH, FLORIDA 33931
PHONE: (239) 334-1224
FAX: (239) 433-2550

FIRE CONTROL DISTRICT:

ESTERO FIRE DISTRICT
21500 THREE OAKS PARKWAY
ESTERO, FLORIDA 33928
PHONE: (239) 390-8000

CONSTRUCTION PLANS FOR ADA IMPROVEMENTS AT SOUTH COUNTY REGIONAL LIBRARY

SECTION 34, TOWNSHIP 46 S., RANGE 25 E.
LEE COUNTY, FLORIDA

OWNER

LEE COUNTY
PO BOX 398
FORT MYERS, FL 33902

STRAP NUMBER

34-46-25-E2-U2125.2396

PROJECT LIMIT

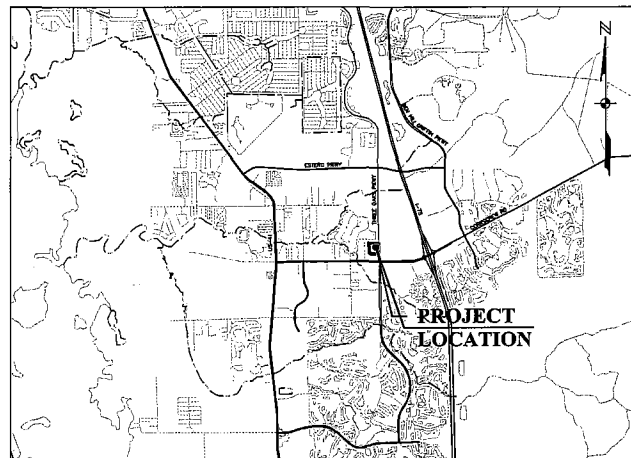
±0.04 AC

ZONING

EC,CF

Sheet List Table

Sheet Number	Sheet Title
C01	COVER
C02	ABBREVIATIONS, LEGEND, & GENERAL NOTES
C03	AERIAL PHOTOGRAPH & EROSION CONTROL PLAN
C04	EXISTING CONDITIONS & DEMOLITION PLAN
C05	SITE, PAVING, GRADING, & DRAINAGE PLAN
C06	TYPICAL DETAILS & ADA ROUTE

LOCATION MAP

0 4,000 8,000
(INTENDED DISPLAY SCALE: 1"=4,000')

JULY 2018

REVISED: MARCH 2019



JOHNSON
ENGINEERING

JOHNSON ENGINEERING, INC.
2122 JOHNSON STREET
P.O. BOX 1550
FORT MYERS, FLORIDA 33902-1550
PHONE: (239) 334-0046
FAX: (239) 334-3661
E.B. #642 & L.B. #642

REGISTERED PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 82277

TYLER M. SHARPE, PE

DATE

100% CONSTRUCTION DOCUMENTS

SHEET NUMBER
C01

	ONE TOUCH		PASSIVE SENSOR (FRONT)
	IR DETECTOR		MOTION SENSOR (FRONT)
	BLOW OFF		SMART SENSOR (FRONT)
	RF RECEIVER		SMART SENSOR (BACK)
	PIE DETECTOR (ACTIVE)		WATER SENSOR (FRONT)
	PIE DETECTOR (PASSIVE)		WATER SENSOR (BACK)
	PIE DETECTOR (ACTIVE)		HONEYWELL
	WIRED DO SENSOR		DRINKING WATER
	WIRED VV SENSOR		THREAT ALERT
	AUTO WAKE		FLAMED DO SENSOR

[illegible][illegible]

1. ELEVATIONS REFERENCE TO NAVD 1988. CONVERSION

- [illegible]

DINAMIC NOISE

1. THIS SYSTEM IS UTILIZED EXACTLY FOR BUILDING PURPOSES, WITHOUT UNDER DRAINAGE FROM FLOODING OR ADVERSE SOIL CONDITIONS.
2. CONTRADICTION SHALL NOT VIOLATE THE GENERAL AND CONTACT ALL UTILITY LINES AND STRUCTURES, INCLUDING BUT NOT LIMITED TO, THE AREA 72 INCHES (18") PROTECT TO CONSTRUCTION CONSTRUCTION.
3. THE STORM DRAINAGE PUMP AND PLANTAIN SYSTEM SHALL BE DESIGNED TO A VERTICAL SECTION BY THE OWNER'S ENGINEER TO BE SUBMITTED TO THE PROJECT ARCHITECT FOR REVIEW AND APPROVAL. THE ENGINEER'S REVIEW SHALL MAINTAIN TO CORRECT MEASUREMENTS.
4. THE CONTRADICTION SHALL MAINTAIN THE STORM DRAINAGE SYSTEM BEING MAINTAINED, ACCORDING TO THE PROJECT'S STORM DRAINAGE SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STORM DRAINAGE SYSTEM TO BE ACCEPTED BY THE OWNER'S ENGINEER PRIOR TO THE FINAL ACCEPTANCE.
5. FINISHED FLOOR ELEVATOR OF BUILDINGS MUST BE ± 0.00 BELOW THE FINISHED FLOOR ELEVATOR.
6. FINISHED FLOOR ELEVATOR OF BUILDINGS MUST BE AT LEAST 1' ABOVE THE FINISHED FLOOR ELEVATOR.
7. FINISHED FLOOR ELEVATOR OF BUILDINGS MUST BE AT LEAST 1' ABOVE THE FINISHED FLOOR ELEVATOR.

MARKING NOISE

...S (LATEST EDITION), THE HANDBOOK OF TRANSPORTATION REQUIREMENTS (LATEST EDITION), AND THE

2. MATCH EXISTING PAVEMENT MARKINGS AT EXISTING ROADS.
3. MAINTAINANCE OF MAINT. SHALL BE IN ACCORDANCE WITH THE ROADWAY AND TRAVEL GUIDE STANDARDS (LATEST EDITION).
4. CONTRACTOR SHALL SET ROADWAY CROWN, SLOPE, SLOBS AT PROPOSED DETECTION ANGLE TO THE ROADWAY IN ACCORDANCE WITH ROAD NOTE NUMBER 17362.
5. SEE ROAD MARK NUMBERS 17346 AND 17352 FOR ADDITIONAL DETAILS.

THE DEVOLUTION IS BASED ON AVAILABLE

TO CONTACT "SUNSHINE 811" FOR LOCAL
SUNSHINE 811-4770 STATE

- ARE NOT PART OF THE ONE CALL SYSTEM, THEY MUST BE CALLED INDIVIDUALLY.

STANDARD DETAIL

THE COUNTY UTILITIES (LCU) STANDARD DE
UTILITIES DESIGN MANUAL. THESE STAND

- THE DESIGN STANDARDS REFERENCED WITHIN THIS PLAY SET HAVE BEEN INCORPORATED HEREIN VERIFIABLY AS SET FORTH WITHIN THE ABOVE MENTIONED LCU OPERATION AND MAINTENANCE MANUAL.

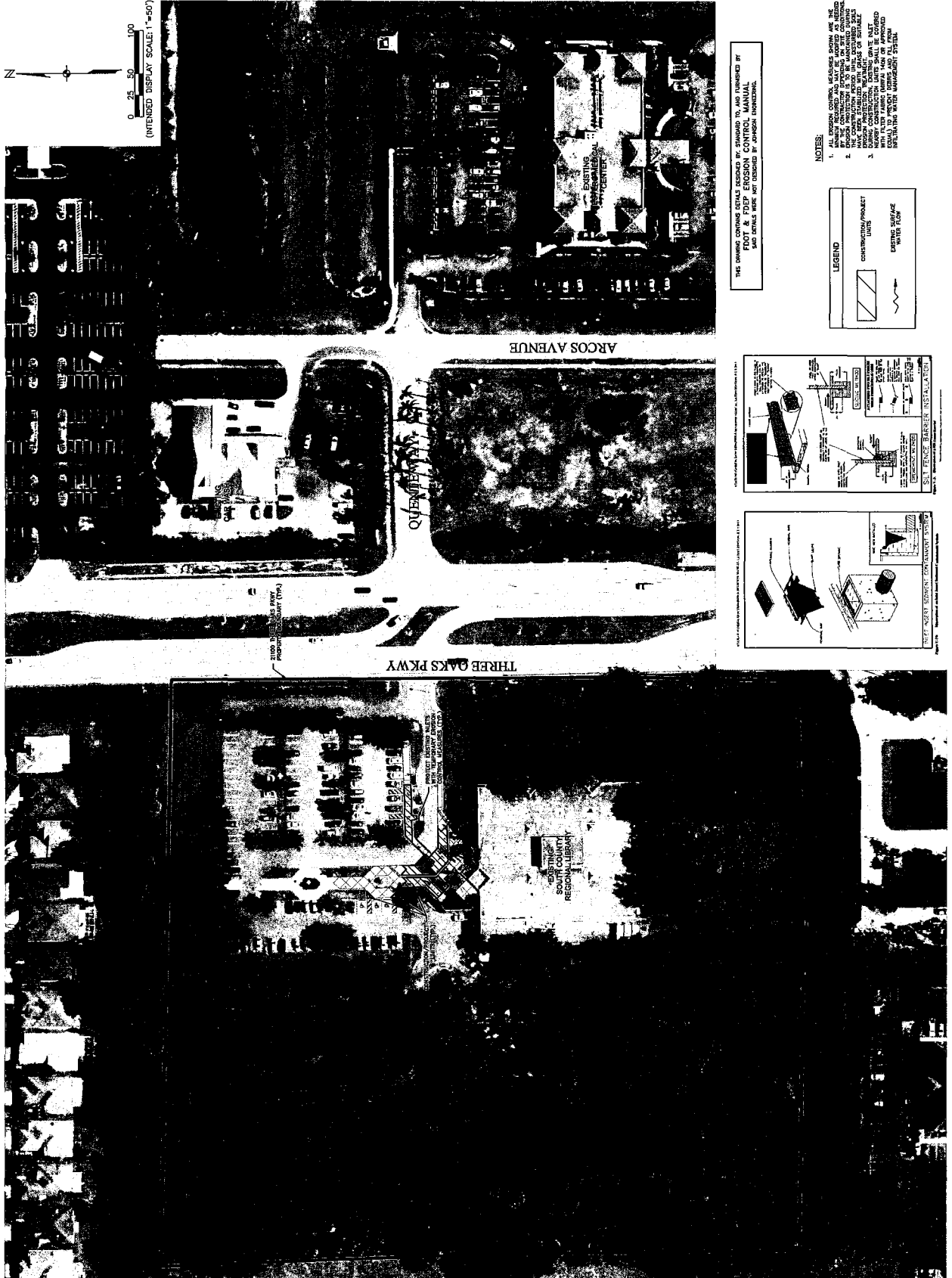
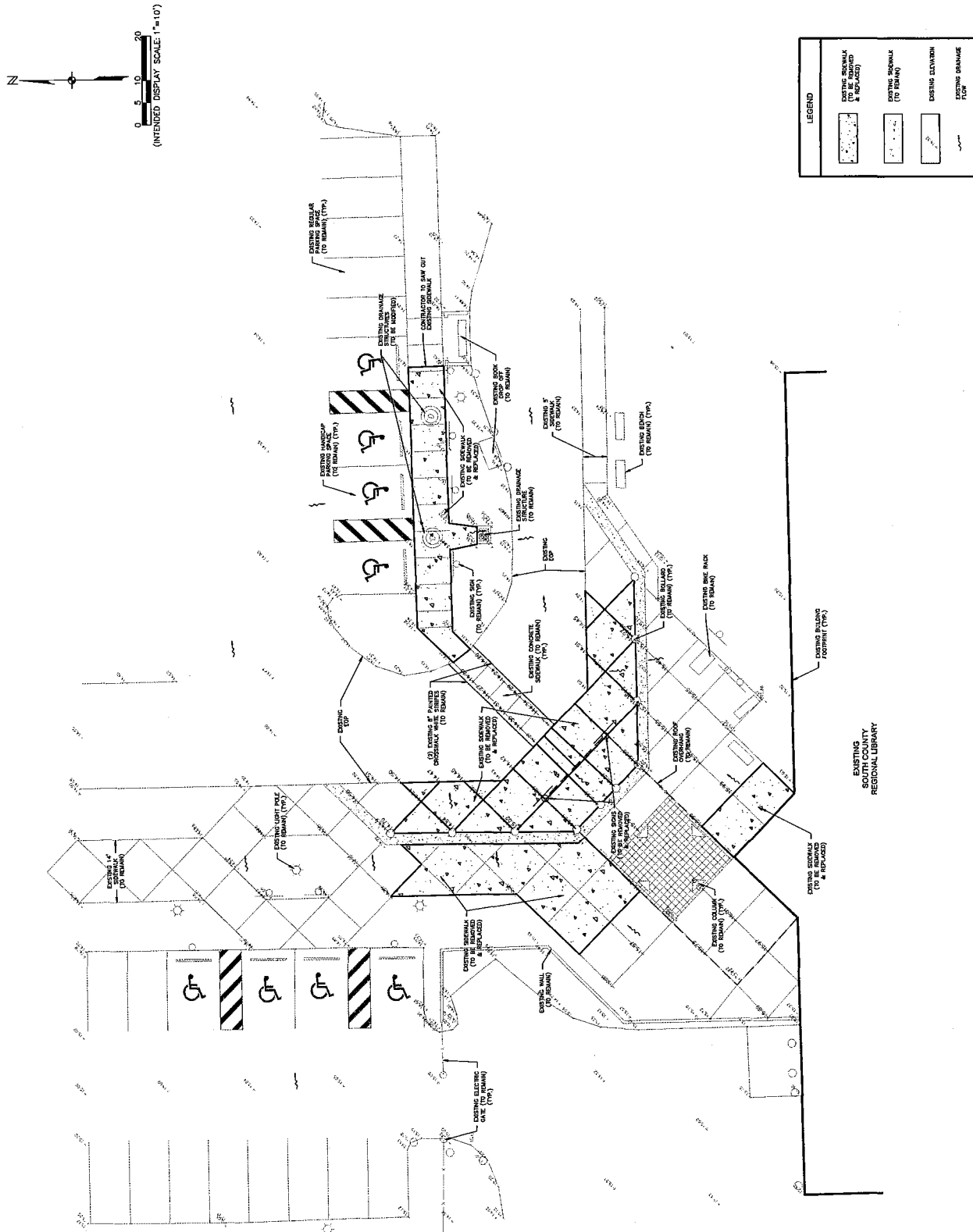


EXHIBIT G

[illegible]

**EXISTING
CONDITIONS &
DEMOLITION PLAN**

HEET NUMBER
C04

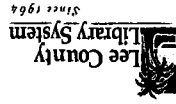


**SITE, PAVING,
GRADING, &
DRAINAGE PLAN**

DATE:	JULY 2018
PROJECT NO.	20181180-000
FILE NO.	34-46-25
SCALE:	As Shown

REVISIONS	DESCRIPTION	DATE

ADA IMPROVEMENTS AT SOUTH COUNTY
REGIONAL LIBRARY
LEE COUNTY, FLORIDA



MR. M. SHARPE, PE
 FL License No. 82277

JOHNSON
ENGINEERING

JOHNSON ENGINEERING, INC.
2122 JOHNSON STREET
FORT MYERS, FLORIDA 33901
PHONE: (239) 334-0048
FAX: (239) 334-2581
E.B. ROAD & L.B. 4642

EXHIBIT G

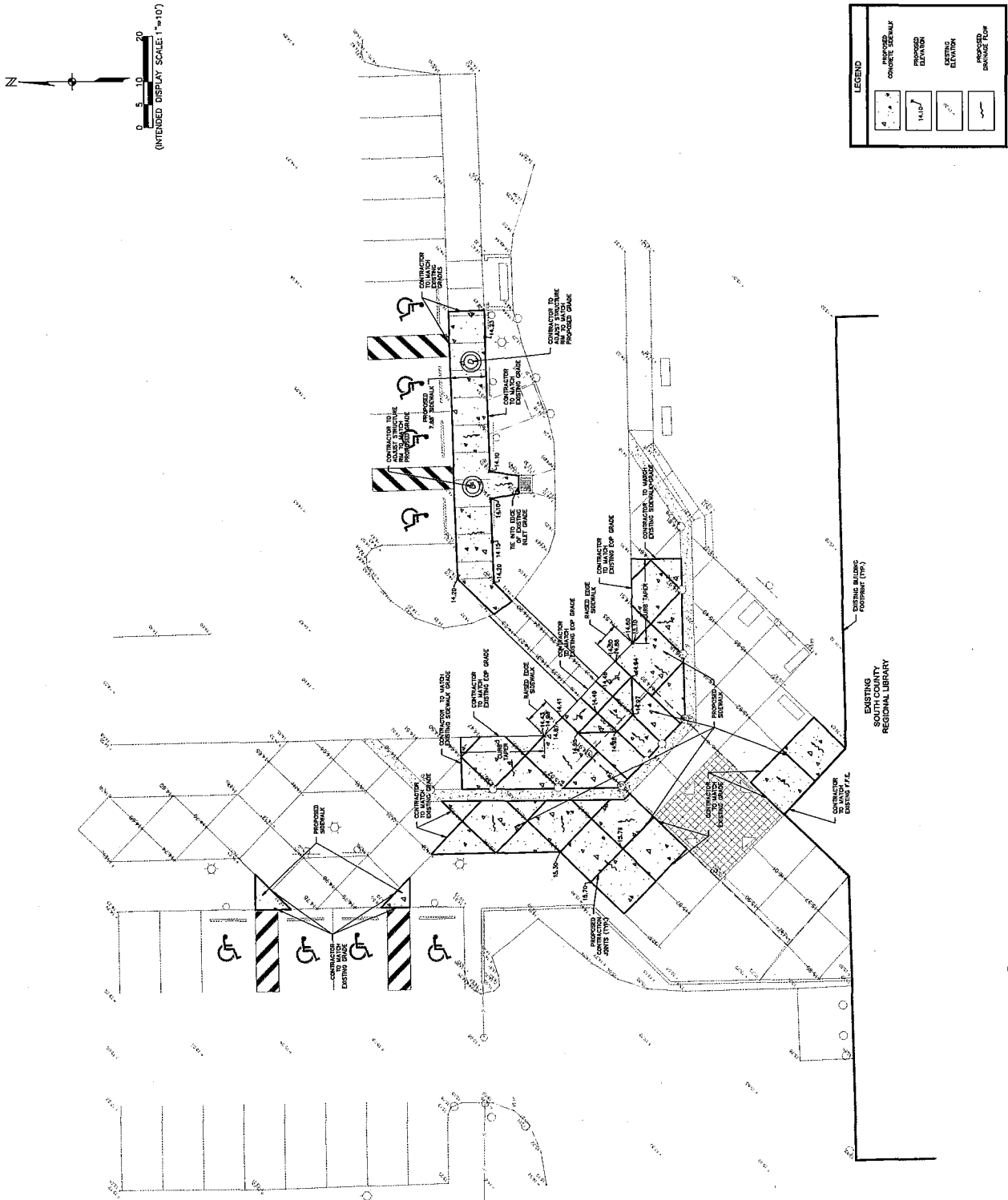
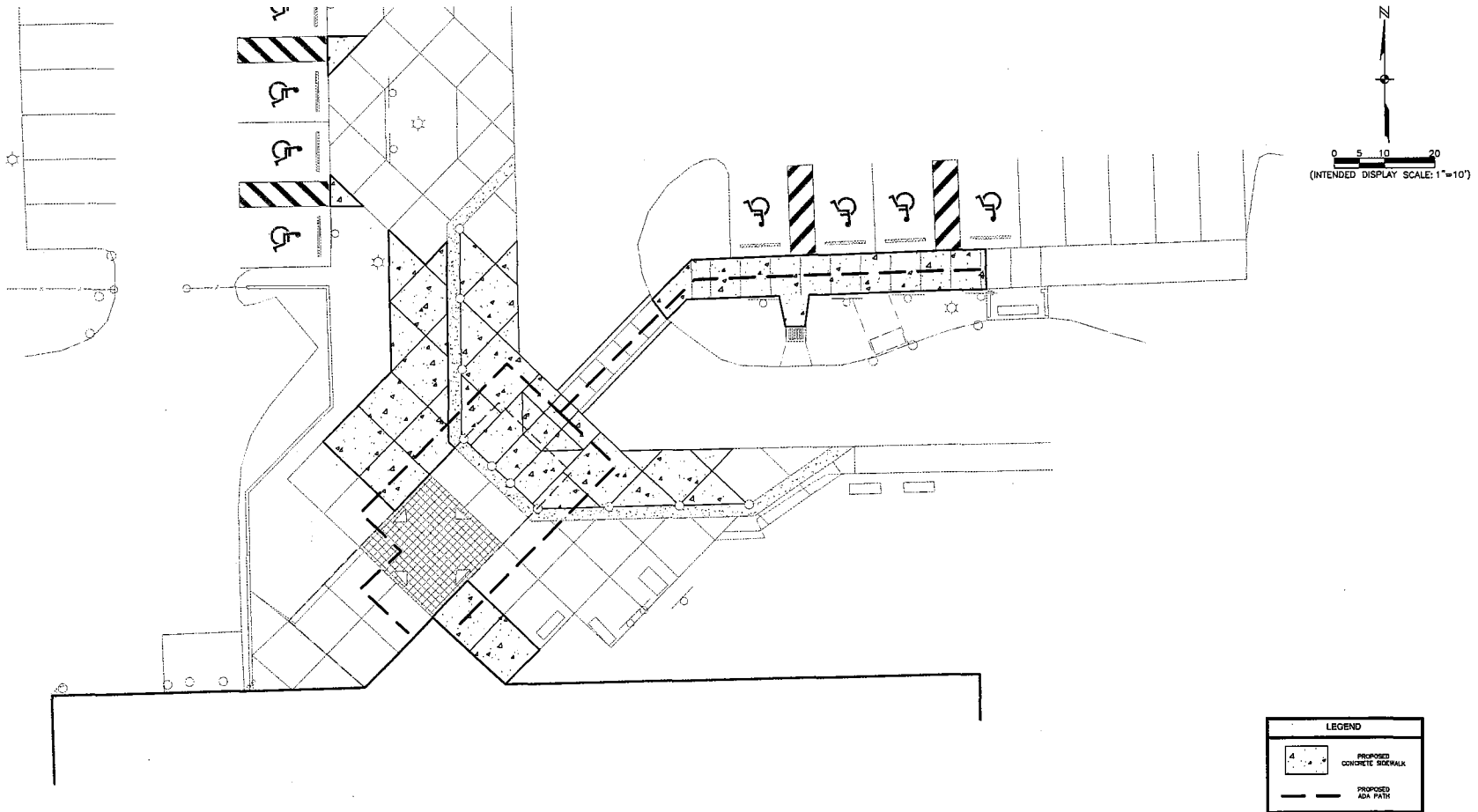


EXHIBIT G



JOHNSON ENGINEERING
 JOHNSON ENGINEERING, INC.
 5122 JOHNSON STREET
 FORT MYERS, FLORIDA 33901
 PHONE: (239) 334-0946
 FAX: (239) 334-0981
 E.A. #042 & L.B. #042

FILED: M. SHARPE, PE
 FL. LICENSE NO. 00077

Lee County Library System
 Since 1964

ADA IMPROVEMENTS AT SOUTH COUNTY
 REGIONAL LIBRARY
 LEE COUNTY, FLORIDA

REVISIONS

NO.	DATE	DESCRIPTION
1	JULY 2018	
2		
3		
4		
5		
6		
7		
8		
9		
10		

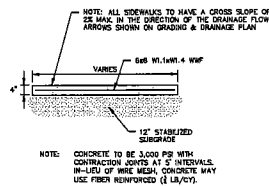
DATE: JULY 2018
 PROJECT NO. 20181180-000
 FILE NO. 34-45-25
 SCALE: As Shown

TYPICAL DETAILS &
 ADA ROUTE

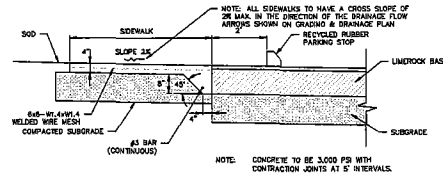
SHEET NUMBER

C06

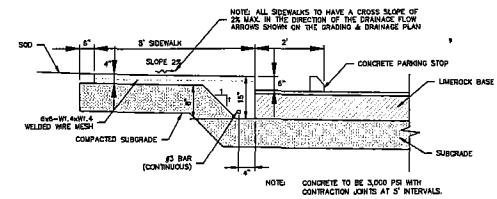
TYPICAL DETAILS



SIDEWALK DETAIL
 N.T.S.

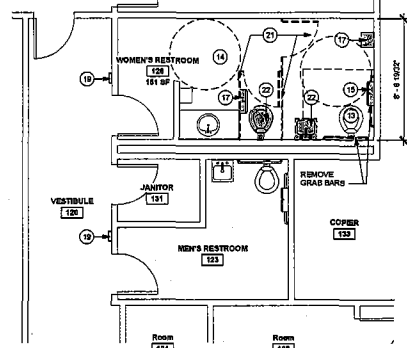


SIDEWALK DETAIL (WHEN FLUSH WITH PAVEMENT)
 N.T.S.

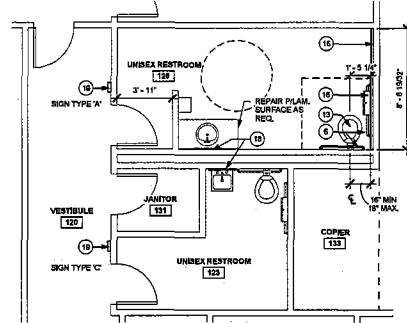


SIDEWALK DETAIL (WHEN ADJACENT TO PAVEMENT)
 N.T.S.

EXHIBIT G



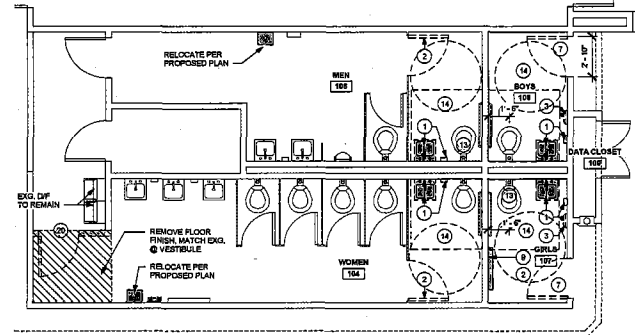
2 ENLARGED STAFF RESTROOM - DEMO
1/4" = 1'-0"



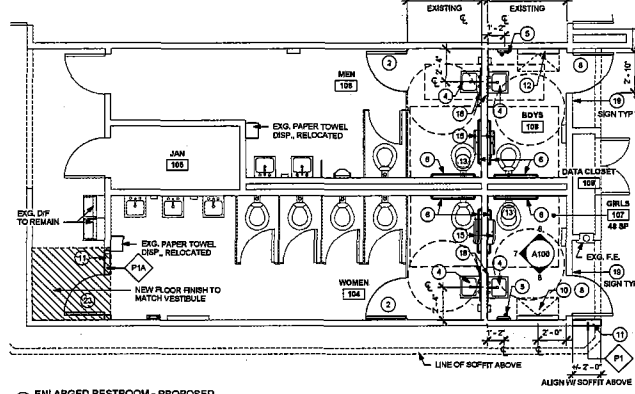
3 ENLARGED STAFF RESTROOM - PROPOSED
1/4" = 1'-0"

- RESTROOM PLAN KEY NOTES**
- CAREFULLY REMOVE EXISTING WALL HUNG SINK, SOAP DISPENSER AND PREPARE FOR REINSTALLATION PER PROPOSED PLAN. INSTALL PER MANUF. SPECS. EXG. WATER AND SANITARY CONNECTION TO BE RE-ROUTE PER PROPOSED PLAN. PATCH WALL, CERAMIC TILE AS REQUIRED. GC TO MATCH EXG. TILE. EXG. RECESSED WASTE RECEPTACLE TO REMAIN IN PLACE.
 - REMOVED EXG. TOILET PARTITION DOOR. INSTALL NEW DOOR WITH OPPOSITE SWING WITH 1/2" CLEAR OPENING. MATCH EXG. FINISHES.
 - CAREFULLY REMOVE EXISTING ELECTRIC HAND-DRYER AND PREPARE FOR RELOCATION AS PER PROPOSED PLAN. ELECTRICAL TO BE RE-CONNECTED TO EXISTING CIRCUIT. PATCH WALL FINISH AS REQUIRED.
 - PROVIDE NEW WATER AND SANITARY CONNECTION FOR WALL MOUNTED SINK - RELOCATED. PROVIDE INSULATION TO SINK'S EXPOSED PIPES. PATCH WALL AS REQUIRED.
 - EXISTING ELECTRIC HAND-DRYER - RELOCATED. ELECTRICAL TO BE RE-CONNECTED TO EXISTING CIRCUIT.
 - NEW 42" X 84" S.S. GRAB BAR. PROVIDE W.D. BLOCKING AS PER MANUF. SPECS REQUIREMENTS. (EXISTING 42" MAY BE REUSED)
 - EXG. WOOD DOOR TO BE CAREFULLY REMOVED AND PREPARE FOR RELOCATION. CLOSET AND DOOR HARDWARE TO BE REUSED. H.M. FRAME & DOOR WALL STOP TO BE REMOVED AND DISPOSED.
 - PROVIDE NEW PAINTED H.M. FRAME AND WALL DOOR STOP. REUSE EXG. STAINED WOOD DOOR, DOOR CLOSER & HARDWARE - INSTALL FEMALE RESTROOM TO MALE RESTROOM, OPPOSITE SWING OPENING.
 - CAREFULLY REMOVE EXISTING BABY CHANGING STATION. PREPARE FOR RELOCATION PER PROPOSED PLAN. WALL SURFACE TO BE PATCH AS REQUIRED.
 - EXISTING BABY CHANGING STATION, RELOCATED. PROVIDE W.D. BLOCKING AS PER MANUF. SPECS REQUIREMENTS.
 - NEW PAINTED GYPSUM WALL BOARD ON 3/4"X 20 GA. METAL STUD. RE-WALL TYPE GRAPHIC BELOW FOR DETAILS.
 - PROVIDE NEW BABY CHANGING STATION. PROVIDE W.D. BLOCKING AS REQUIRED. INSTALL PER MANUF. SPECS.
 - PROVIDE AUTOMATIC FLUSH VALVE TO EXG. W.C.
 - ALL TOILET ACCESSORIES TO BE REUSED, UNLESS OTHERWISE NOTED. RELOCATE PER PROPOSED PLAN. ALL ADA ANGLE TILT MIRRORS TO BE REMOVED AND DISPOSED.
 - EXG. JANITOR TOILET PAPER DISPENSER & ADA BRILL TO BE CAREFULLY REMOVED AND RE-INSTALLED 12" MIN. ABOVE GRAB BAR. PATCH REPAIR WALL AS REQ.
 - NEW STAGGERED 1/2" MOISTURE RESISTANT GWS OVER 7/8" HAT CHANNEL. PAINTED.
 - REMOVE EXG. PAPER TOWEL & TOILET PAPER DISPENSER AND RETURN TO OWNER.
 - PROVIDE NEW MIRROR PER SPECS. BOTTOM OF THE REFLECTANT SURFACE SHALL BE 40" MAX. A.F.F.
 - REMOVE EXG. NON-COMPLIANT RESTROOM SIGNAGE. PROVIDE NEW RESTROOM SIGNAGE PER SPECS. SEE SIGNAGE FOR INSTALLATION DETAILS.
 - EXG. DOOR & WALL PARTITION TO BE REMOVED TO EXTENT SHOWN ON PLAN. DOOR SIGN TO BE CAREFULLY REMOVED AND PREPARE FOR RELOCATION. EXG. CERAMIC TILE FLOOR TO BE REMOVED. PREPARE AREA TO RECEIVE NEW FLOOR FINISH.
 - REMOVE & DISPOSE EXG. TOILET PARTITIONS AND ASSOCIATED HARDWARE @ EXG. STAFF WOMEN'S RESTROOM ONLY. PATCH/REPAIR WALL SURFACES AS REQ.
 - REMOVE EXG. PLUMBING FIXTURES. CAP SANITARY LINES FOR FUTURE USE.
 - PROVIDE NEW WOOD DOOR WITH H.M. FRAME, RELOCATE AND CLOSER. MATCH EXG. FINISHES.

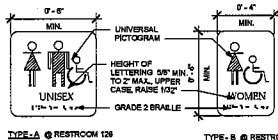
- GENERAL NOTES**
- FIELD VERIFY ALL EXISTING FLOOR ELEVATIONS & DIMENSIONS. INFORM THE OWNER AND ARCHITECT IF DISCREPANCIES ARE FOUND.
 - MATCH ALL EXISTING TEXTURES, FINISHES AND COLORS ON WALLS AND FLOORS AS REQ.
 - ALL EXG. FINISHES, FIXTURES AND TOILET ACCESSORIES TO REMAIN UNLESS OTHERWISE NOTED. REPAIR SURFACES AS REQUIRED. MATCH EXISTING, TYPE & DYE LOT TO MATCH.
 - VERIFY PLACEMENT COMPLIANCE TO ALL ADA SIGNAGE AT EXG. RESTROOM.



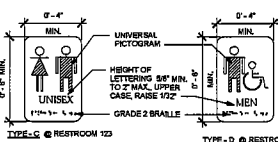
4 ENLARGED RESTROOM - DEMO
1/4" = 1'-0"



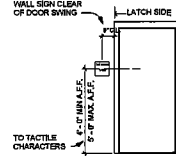
5 ENLARGED RESTROOM - PROPOSED
1/4" = 1'-0"



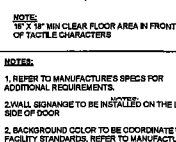
TYPE-A @ RESTROOM 128



TYPE-B @ RESTROOM 129

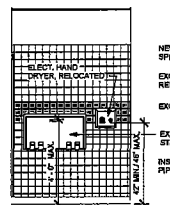


TYPE-C @ RESTROOM 128

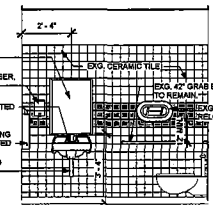


TYPE-D @ RESTROOM 129

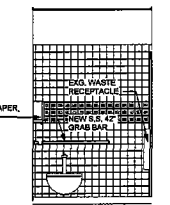
- NOTES:**
- REFER TO MANUFACTURER'S SPECS FOR ADDITIONAL REQUIREMENTS.
 - WALL SIGNAGE TO BE INSTALLED ON THE LATCH SIDE OF DOOR.
 - BACKGROUND COLOR TO BE COORDINATE WITH FACILITY STANDARDS. REFER TO MANUFACTURER'S SPECS FOR ADDITIONAL REQUIREMENTS.



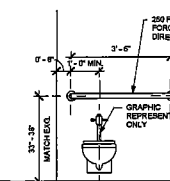
6 GIRLS RR - SOUTH ELEVATION
3/8" = 1'-0"



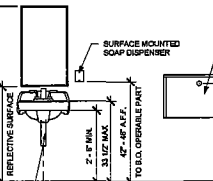
7 GIRLS RR - WEST ELEVATION
3/8" = 1'-0"



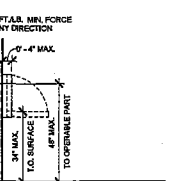
8 GIRLS RR - NORTH ELEVATION
3/8" = 1'-0"



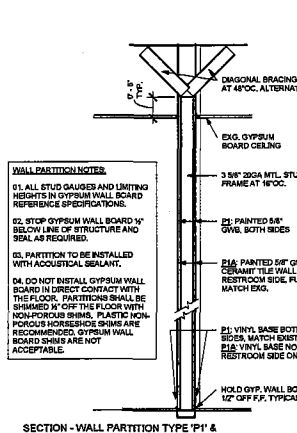
9 TYP. MOUNTING HEIGHTS
1/2" = 1'-0"



10 TYP. MOUNTING HEIGHTS
1/2" = 1'-0"



11 TYP. MOUNTING HEIGHTS
1/2" = 1'-0"



SECTION - WALL PARTITION TYPE 'P1' & 'P1A'
3/4" = 1'-0"

- WALL PARTITION NOTES**
- ALL STUD GAUGES AND LIMITING HEIGHTS IN GYPSUM WALL BOARD REFERENCE SPECIFICATIONS.
 - STOP GYPSUM WALL BOARD 1" BELOW LINE OF STRUCTURE AND SEAL AS REQUIRED.
 - PARTITION TO BE INSTALLED WITH ACOUSTICAL SEALANT.
 - DO NOT INSTALL GYPSUM WALL BOARD IN DIRECT CONTACT WITH THE FLOOR. PARTITIONS SHALL BE SHIMMED 1/2" OFF THE FLOOR WITH NON-POROUS SHIMS. PLASTIC NON-POROUS HORSESHOE SHIMS ARE RECOMMENDED. GYPSUM WALL BOARD SHIMS ARE NOT ACCEPTABLE.

- DETAILS**
- DIAGONAL BRACING AT 45°C. ALTERNATE
 - 3"X8" 20GA MTL. STUD FRAME AT 16°C.
 - PAINTED 8"X8" GWS, BOTH SIDES
 - PAINTED 8"X8" GWS, BOTH SIDES
 - PAINTED 8"X8" GWS, BOTH SIDES
 - VINYL BASE BOTH SIDES, MATCH EXISTING.
 - VINYL BASE NON-RESTROOM SIDE ONLY
 - HOLD GYP. WALL BOARD 1/2" OFF F.F. TYPICAL

RG
RG Architects P.A.
2070 McGregor Boulevard, Suite 3
Fort Myers, FL 33901
P (239) 332 2040
F (239) 332 2049
www.rgarchitects.co

LEE COUNTY
SOUTHWEST FLORIDA
ADA Improvements to
Lee County South
Library

21100 Three Oaks Pkwy
Estero, FL 33928

CONSULTANTS
CIVIL ENGINEER:
JOHNSON
ENGINEERING

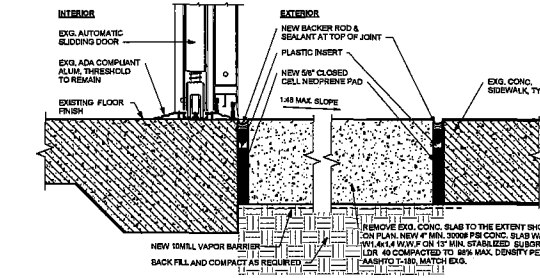
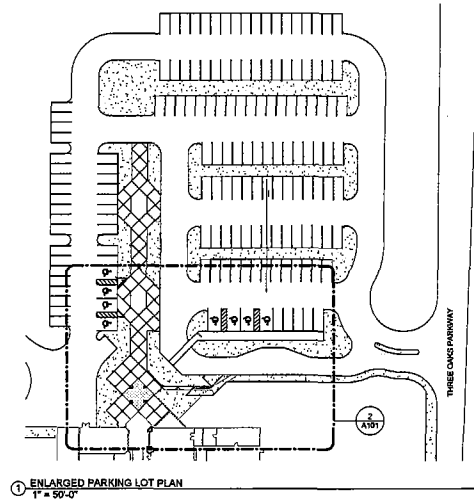
REAL
CHARLES R. OUTKUNIST
AR 19952

REVISIONS
NO. DESCRIPTION DATE

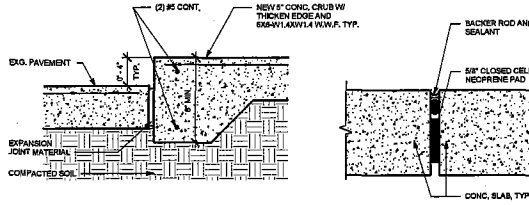
DATE ISSUED: 03.19.19
RGA PROJECT NUMBER 1818 003
© 2018 RG ARCHITECTS, P.A.
SHEET TITLE
FLOOR PLAN & DETAILS
SHEET NUMBER
A100
100% CD's for GMP

3/19/2019 10:08:57 AM

EXHIBIT G



DETAIL - NEW CONCRETE SLAB @
DOOR THRESHOLD
3\"/>

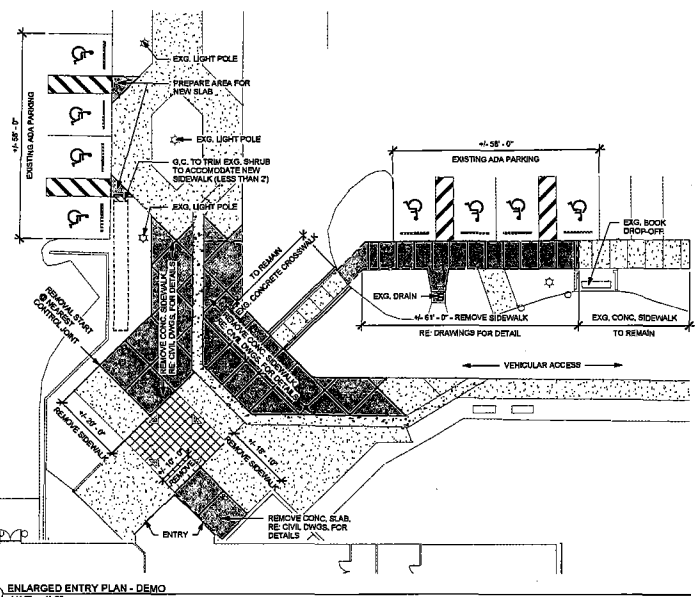


DETAIL - CONCRETE CURB
1 1/2\"/>

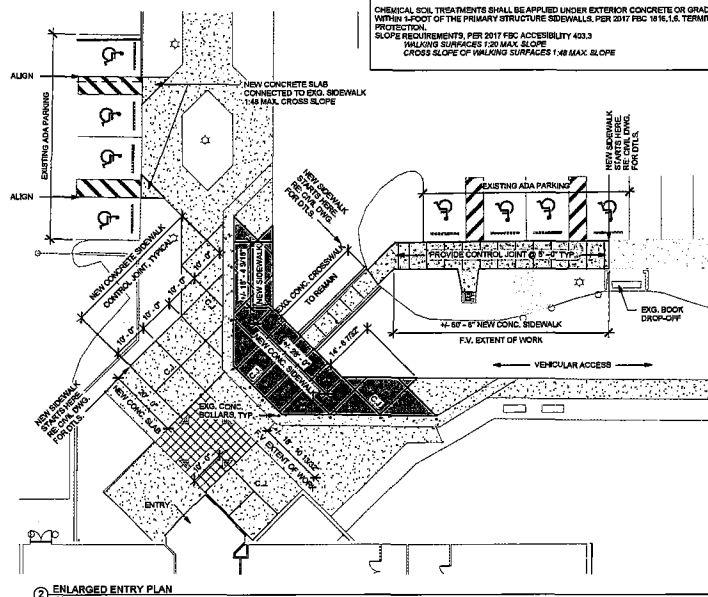
DETAIL - CONCRETE JOINT
3\"/>



REMOVE EXG. PORTION OF CONC. SLAB TO THE LIMIT OF NEXT CONTROL JOINT. POUR NEW 3,000 PSI CONCRETE SLAB (4\"/>



ENLARGED ENTRY PLAN - DEMO
1/16\"/>



ENLARGED ENTRY PLAN
1/16\"/>

RG
RG Architects P.A.
2070 McGregor Boulevard, Suite 3
Fort Myers, FL 33901
P (239) 332 2840
F (239) 332 2849
www.rgarchitects.co

LEE COUNTY
SOUTHWEST FLORIDA
ADA Improvements to
Lee County South
Library

21100 Three Oaks Pkwy
Estero, FL 33928
CONSULTANTS
CIVIL ENGINEER:
JOHNSON
ENGINEERING

SEAL:
CHARLES R. GUTENKUNT
AR 10662
REVISIONS
NO. DESCRIPTION DATE
DATE ISSUED: 03.19.19
RGA PROJECT NUMBER
1818 003
© 2018 RG ARCHITECTS, P.A.
SHEET TITLE

**ENLARGED
ENTRY PLAN**
SHEET NUMBER
A101
100% CD'S for GMP

