

CMR210460BAG
South County Regional Library Renovation - Construction Manager at Risk
Contract No. 9436 – Amendment No.1

E1 Contract # 9436

FIRST AMENDMENT OF CONSTRUCTION MANAGER SERVICES AGREEMENT FOR PHASE 2 – CONSTRUCTION SERVICES

THIS FIRST AMENDMENT to the Construction Manager Services Agreement dated March 22, 2022, is made and entered into by and between Lee County, a political subdivision and charter County of the State of Florida, acting by and through its Board of County Commissioners (Owner); and **Chris-Tel Company Of Southwest Florida, Inc.**, a Florida corporation, duly licensed to conduct business in the State of Florida (the “Construction Manager” or “CM”), collectively, the “Parties”.

RECITALS

WHEREAS, the County desired to construct the South County Regional Library Renovation - Construction Manager at Risk Project (the “Project”) within Lee County, Florida; and,

WHEREAS, the CM and the County entered into a Construction Manager Services Agreement dated March 22, 2022, (“Agreement”) according to the selection of the CMAR pursuant to CMR210460BAG and,

WHEREAS, the CM and the Owner completed Pre-Construction Services for the Project; and,

WHEREAS, Section 3.01 CM’s Compensation of the Construction Manager Services Agreement provides that the Guaranteed Maximum Price (“GMP”) for construction of the Project will be established in a separate amendment to the Agreement; and,

WHEREAS, Section 3.02 The Project; Changes in the Project; Additional Fee of the Construction Manager Services Agreement provides that the CM is entitled to an additional fee if the Owner increases the GMP; and

WHEREAS, Section 3.03 Period of Construction; Additional Fee of the Construction Manager Services Agreement provided that the number of calendar days for the period of construction to substantial completion and the number of calendar days to final completion are to be established by amendment to the Agreement, and that the First Construction GMP payment and the subsequent monthly installments shall be determined after the GMP has been established; and

WHEREAS, Section 4.06 Project Schedule; Substantial Completion; Occupancy, Subsection (1) Establishment of Substantial Completion Date of the Construction Manager Services Agreement, provides that Liquidated Damages will be established by amendment to the Agreement; and

WHEREAS, except as is specifically amended or modified herein, all of the terms

CMR210460BAG
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E1 Contract # _____

and conditions of the Agreement for the Project are hereby ratified and confirmed, and shall remain in full force and effect.

OPERATIVE PROVISIONS

NOW THEREFORE, for and in consideration of the mutual covenants and agreements set forth herein, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the County and the CM, intending to be legally bound, covenant and agree as follows:

1. **Recitals**. The recitals set forth above are true and correct and incorporated herein as if set forth below.
2. **CM's Compensation**. The Parties hereby agree that the last sentence of Section 3.01 CM's Compensation is replaced in its entirety as follows:

The CM fee for Construction Services shall be **\$552,309.00**.

3. **Establishment of Guaranteed Maximum Price**. The Parties hereby agree that the GMP for construction of the Project shall be **\$9,227,450.00** In no event shall the cost of construction of the Project and the CM's Fee exceed the GMP, as adjusted by any County approved change orders.
4. **Establishment of Period of Construction**. The Parties hereby agree that the first paragraph of Section 3.03 Period of Construction; Additional Fee is replaced in its entirety as follows:

Owner, AE and CM expect and believe that the period of construction or construction phase for the Project shall be **three hundred seventy-three (373)** calendar days to substantial completion from issuance of the Notice to Proceed and an additional **thirty (30)** calendar days to final completion. No work shall take place under this Amendment until the date specified in the Construction Phase Notice to Proceed.

5. **Liquidated Damages**. Under Section 4.06 Project Schedule; Substantial Completion; Occupancy, Subsection (1) Establishment of Substantial Completion Date, the Parties hereby agree that the amount of liquidated damages the CM shall be assessed is **\$2,500.00 per calendar day** for each day completion is extended beyond the Project substantial completion date.
6. **Contract Documents**. The Construction Manager shall perform the services for the amount stated above in strict accordance with the following documents, all of which are attached hereto and incorporated by reference:

CMR210460BAG
South County Regional Library Renovation - Construction Manager at Risk
Contract No. 9436 – Amendment No.1

E1 Contract # _____

- 6.1 Exhibit A – Letter Dated **August 19, 2024**, Establishing the GMP and Schedule of Values from **Chris-Tel Company Of Southwest Florida, Inc.**
- 6.2 Exhibit B – **Construction Plans**

- 7. **Effective Date.** This Amendment shall become effective on the date it is approved by the Lee County Board of County Commissioners.

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CMR210460BAG
South County Regional Library Renovation - Construction Manager at Risk
Contract No. 9436 – Amendment No.1

EI Contract # _____

IN WITNESS WHEREOF, the parties have made and executed this Amendment on the day and year of the last signature below.

WITNESS:

CHRIS-TEL COMPANY OF SOUTHWEST FLORIDA, INC.

Signed By: *K. Bishop*

Signed By: *[Signature]*

Print Name: Katie Bishop

Print Name: Howard Wheeler, II

Title: President

Date: 08/22/2024

BOARD OF COUNTY COMMISSIONERS OF LEE COUNTY, FLORIDA

DocuSigned by:
Mike Greenwell
55F586F7224445A...

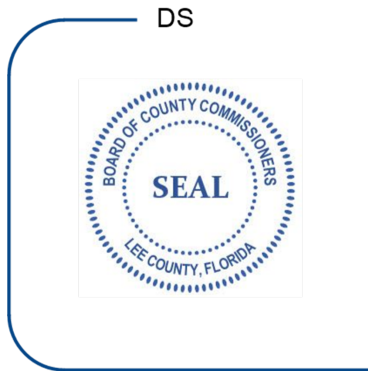
Print Name: Mike Greenwell

Title: chair

Date: 9/11/2024 | 11:18 AM EDT

ATTEST:
CLERK OF THE CIRCUIT COURT

Signed by:
Rachael Rumer
E09FC98CC80741A...
DEPUTY CLERK



APPROVED AS TO FORM FOR THE RELIANCE OF LEE COUNTY ONLY:

DocuSigned by:
Amanda L. Swindle
EC9B5A5584DD473...
OFFICE OF THE COUNTY ATTORNEY

CMR210460BAG
South County Regional Library Renovation - Construction Manager at Risk
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E1 Contract # _____

EXHIBIT A
GMP LETTER

Exhibit A



South County Regional Library

26 July 2024 REV-1 / July 30, 2024, REV-3 / August 7, 2024, REV-4 / August 15th,2024, REV-5 /
August 19th, 2024 REV-6a

GMP BUDGET ESTIMATE

PREPARED FOR:

**Lee County Facilities
Construction & Management**
ATTN: Bill Dooling
1500 Monroe St, 4th Floor
Fort Myers, FL 33901

PREPARED BY: Chris-Tel Construction

📍 2534-A Edison Avenue, Fort Myers, FL 33901 📞 (239) 226 0500 📠 (239) 226 0503

TABLE OF CONTENTS

COVER LETTER	3
SUMMARY GMP COST ESTIMATE	4
QUALIFICATIONS & ASSUMPTIONS	8
CHRIS-TEL CONSTRUCTION BILLABLE RATES	17
ENUMERATION OF DOCUMENTS	20

TAB 1

Cover Letter



2534-A Edison Avenue
Fort Myers, FL 33901
239.226.0500

www.christelconstruction.com
CGC038604

July 10, 2024, REV-1 July 17, 2024, REV- 2 July 26, 2024, REV – 3 July 30, 2024, REV-4 August 7, 2024, August 15, 2024, REV-5 August 19, 2024, REV-6

Lee County Facilities Construction & Management
Attn: Mr. Bill Dooling
1500 Monroe St, 4th Floor
Fort Myers, FL 33901

Re: South County Regional Library Renovation – Revision 6a

Bill:

We are pleased to provide you with this GMP Cost Estimate for the proposed South County Regional Library Renovation Located at 21100 Three Oaks Parkway Estero, FL 33928. This GMP Estimate is based upon the attached Enumeration of Project Documents and our Qualifications & Assumptions dated 07/10/2024 for this proposed project. Our GMP Cost Estimate for this Project is as follows:

South County Regional Library Renovation	\$ 9,227,450.00
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If you have any questions, or require anything further, please feel free to contact us.

Sincerely,

Kevin E. Thibodeau
Senior Estimator
Chris-Tel Construction

Attachments:

TAB 2

SUMMARY GMP COST ESTIMATE

TAB 2

Summary GMP Cost Estimate

**South County Regional
Library - GMP Revised**

Group	Description	Total Amount
02-00-00	EXISTING CONDITIONS	136,026
03-00-00	CONCRETE	13,849
04-00-00	MASONRY	121
06-00-00	WOOD & PLASTICS	205,881
07-00-00	THERM-MOIST. PROTECTION	605,510
08-00-00	OPENINGS	318,194
09-00-00	FINISHES	1,038,618
10-00-00	SPECIALTIES	117,069
11-00-00	EQUIPMENT	944,650
12-00-00	FURNISHINGS	10,000
21-00-00	FIRE SUPPRESSION	119,850
22-00-00	PLUMBING	50,100
23-00-00	HVAC	1,105,000
26-00-00	ELECTRICAL	1,448,000
27-00-00	COMMUNICATIONS	283,344
28-00-00	ELEC. SAFETY-SECURITY	
31-00-00	EARTHWORK	2,600
32-00-00	EXTERIOR IMPROVEMENTS	22,499
50-00-00	CONCEPTUAL ESTIMATING	428,107

Estimate Totals

Description	Amount	Totals	SF Cost
General Requirements	154,470		
Cost of Work	7,003,889	7,003,889	
Owners Contingency	350,194		
General Conditions	1,212,286		
	1,562,480	8,566,369	
CTC General Liability	83,047		
P & P Bond ChrisTel	55,725		
	138,772	8,705,141	
Construction Managers Fee	522,309		
Total		9,227,450	295.420 /SF

TAB 3

Qualifications & Assumptions

TAB 3

QUALIFICATIONS & ASSUMPTIONS

TAB 3

Qualifications & Assumptions

South County Regional Library Renovation

Qualifications & Assumptions – 07/10/2024 REV-4 08/07/2024, REV-5
August 15, 2024, August 19, 2024, REV-6a

The Qualifications and Assumptions set forth in this exhibit form an integral part of the Contract to which it is attached and to the extent necessary modify all other exhibits, terms and conditions of the Contract that may be contradictory or that may set forth different requirements to be complied with by Contractor. Where materials, quantities, products, and component parts are specified in this exhibit, they shall control over any contrary provisions contained in other exhibits. Where statements are made that information, items or services will be provided or furnished by Owner, they constitute exclusions or alterations from the work that is otherwise set forth in the other terms and conditions of the Contract and its exhibits. Where they state that items are not included it means that the Work will be completed without the inclusion of such item and that if required by Owner it will be the basis for a change order or construction change directive. Where site conditions are specified, assumed, or assumptions as to the basis for pricing are set forth, they control over any more comprehensively stated requirements in the body of the Contract terms and conditions and constitute a limitation on the extent of the Work.

Division #1 – General Conditions

1. Should material delays, material shortages, or material unavailability occur for any reason, at the reasonable discretion of the County, the duration of the contract time shall be extended accordingly, and the General Contractor shall be reimbursed for any additional cost for additional supervision and labor or increased material cost. These cases will require proper backup and documentation for County review and require County Approval, with approval not to be unreasonably withheld, and would be processed as a change order to the contract.
2. The cost of Lee County Permits is EXCLUDED and costs will be the responsibility of the Owner.
3. We have not included any Impact fees that may be required. They are to be paid for by Lee County.
4. We have included the cost for providing a Payment and Performance Bond within the overall cost.
5. Builder's Risk Insurance is Excluded.
6. All Chris-Tel Construction employees shall be billed based upon the attached Chris-Tel Construction Billable Rates. See Attachment A.

TAB 3

Qualifications & Assumptions

-
7. The following are specifically EXCLUDED from the estimate and assumed to be provided by the Owner:
 - a. Environmental and Hazardous substance testing. (Unless noted otherwise)
 - b. Any Environmental remediation costs.
 - c. Permits and impact fees
 - d. Design services, other than for Trade shop drawings.
 - e. Disposal and replacement of unsuitable soils.
 - f. Fixtures, Furnishings, and Equipment (FF & E) – Owner Furnished
 - g. Alternate No. 1 excludes any additional structural reinforcing to meet the new Hurricane code and all structural engineering.
 - h. Electrical: Existing fire smoke and heat detectors replacement or cleaning after construction.
 - i. HVAC: Existing ductwork cleaning of existing ductwork, repair or replace existing ducts not scheduled to, be removed.
 - j. HVAC: New Insulation for existing to remain duct and piping.
 - k. HVAC: Sealing existing to remain Ductwork
 8. We have included costs for Independent Testing & Laboratory Services
 9. We have included Temporary Facilities for our construction operation including an office within the existing Library, storage container(s) and restroom facilities. We have included dumpsters to be in the construction area.
 10. Should Lee County deem it necessary for CTC to spend additional time on-site over the course of the Project, this will be handled as a Change Order to the Contract per our standard billable rates.

Division #2 – Demo & Sitework

1. Selective Demolition
 - a. Included per demolition plans dated 04/30/2024 “Not For Construction”.
 - b. Library furniture to be removed prior to demolition. Only fixed items are shown to be demolished.

Division #3 – Concrete

1. Misc. Concrete & Masonry
 - a. Grout new exterior door frame.

TAB 3

Qualifications & Assumptions

- b. Bond beam and shoring at new exit door opening.
2. Excludes any structural concrete or masonry.
3. Foundation exists and is to remain as is. No work or concerns have been considered in the project until this moment, nor expected based on the information on hand.
4. Existing FPL pad transformer located outside.

Division #5 – Metals

1. Structural Steel Framing
 - a. Excludes any additional structural or misc. metals.

Division #6 – Carpentry, Cabinetry & Countertops

1. Rough Carpentry
 - a. Roof Blocking & Wall Blocking
 - b. Board up openings to exterior after demolition.
2. Finish Carpentry
 - a. Installation of doors & hardware.
3. Cabinetry Casework
 - a. Plastic Laminate Cabinets, Desks, Display Cases per plans and specs.
 - b. Lead time approximately 6-10 weeks.
4. Countertops
 - a. Wilsonart Solid Surface Countertops at casework locations per plans and specs.
 - b. Lead time approximately 6-10 weeks.

Division #7 – Thermal & Moisture Protection

1. ACM Panels
2. Roof Replacement
 - a. Remove existing BUR cap sheet roof down to the Lightweight Insulating concrete. Any damaged LWC uncovered will need to be repaired for additional cost.
 - i. Repairs to the roof deck will be completed on a T&M basis - \$105.00 per hour, per technician, and materials plus 15%.

TAB 3

Qualifications & Assumptions

- b. Install one (1) layer of ½" Dens-Deck coverboard over R-38 polyisocyanurate insulation all screwed to the sloped metal deck.
 - c. At areas over the existing LWC and Mechanical Penthouse we will furnish and install Fibertite 50 mil XT PVC "Off-white".
 - d. Includes reframing & patching deck structure at former skylights.
 - i. Lead time for Solatube is approximately 2 weeks.
3. Insulation
- a. Includes insulation at interior & exterior walls per plans and specs.

Division #8 – Doors & Windows

1. Doors, Frames, & Hardware

- a. Doors, Frames, & Hardware per plans and schedule dated 04/30/2024 "Not For Construction".
 - i. Lead time is approximately 6 weeks.
- b. Sliding Suspended Barn Doors.
 - i. Lead time is approximately 12 weeks.

2. Overhead Doors

- a. 641 series rolling door(s) - Manual Interior Wood - 2'0" x 3'0".
- b. 670 series rolling door(s) - Motor Between Steel - 12'3" x 11'4".
- c. RSX Operator.
- d. Lead time is approximately 6 weeks.

3. Glass & Storefront

- a. Includes Automatic Entry Doors, Swing Doors, Glass, and Glazing as indicated per plans and specs dated 4/30/2024.
- b. **Alternate** provided for interior storefront frames at Adult Study Rooms.
- c. Lead time is approximately 10 weeks.

Division #9 – Finishes

1. Drywall & Framing

- a. Includes interior framing & drywall on walls and ceilings per plans and specs.

TAB 3

Qualifications & Assumptions

2. Painting

- a. Includes interior painting of walls, ceilings, doors as indicated per plans and specs dated 04/30/2024 "Not For Construction".
- b. Includes wood veneer wallcovering type WV-1 as shown on ID Drawings dated 04/30/2024 "Not For Construction". Excludes any other wallcovering types.
- c. Excludes all exterior painting or pressure washing. Not indicated within plans and specs.

3. Flooring

- a. Includes all flooring types in indicated areas per plans and specs dates 04/30/2024 "Not For Construction".
 - i. The lead time is approximately 6-8 weeks.

Acoustical

- b. Includes Acoustical Ceiling Types A, A1 & A2 and CertainTeed Specialty Ceiling Type R as indicated per plans and specs dated 04/30/2024 "Not For Construction".
 - i. Lead time is approximately 10-12 weeks for specialty ceilings.
- c. provided for deduct of CertainTeed at the four (4) Lounge areas and replacement with ACT Type A1.
- d. Excludes any felt acoustic wall components.

Division #10 – Specialties

1. Awnings

- a. Includes 5'x6' flat canopy over new door entry.
- b. Includes cost for identical canopy over new book drop per specifications to include this in base bid.

2. Signage

- a. Includes interior and exterior signage per plans and specs dated 04/30/2024 "Not For Construction".
- b. Signage of \$25,000 has been carried per specifications

3. Bathroom Accessories

- a. Includes bathroom accessories per plans and specs dated 04/30/2024 "Not For

TAB 3

Qualifications & Assumptions

Construction”.

- i. The lead time is approximately 3-6 weeks.

Division #11 – Equipment

1. AMH System
 - a. Includes turnkey Library Mate™ LM1200 Automatic Handling System by Lyngsoe Systems.
2. Metal Storage Shelving included per specs.
3. Excludes any office equipment.

Division #12 – Furnishings

1. Library Shelving
 - a. Includes Library Bookshelves per layout provided by Lee County Library Staff to Library Interiors of Florida. Turnkey package to provide and install.
2. Window Treatments

Division #13 – Special Construction

1. Fire Suppression
 - a. Includes modification to existing wet system in an approximately 33,773 square foot area.
1. AV System, Access Controls, Fire Alarm, Distributed Antenna System per the Design And Construction Responsibilities Matrix on T0.02 dated 04/30/2024 “Not For Construction”.

Division #15 – Mechanical

1. Plumbing
 - a. Includes all plumbing demo, sanitary, domestic water, and plumbing fixtures per plans and specs dated 04/30/2024 “Not For Construction”.
 - i. Lead time is approximately 2-4 weeks for fixtures.
2. HVAC
 - a. Includes all updated HVAC per plans and specs dated 04/30/2024 “Not For Construction”.
 - i. Lead times are approximately:

TAB 3

Qualifications & Assumptions

1. Chiller: 26-28 weeks
2. Air handling units: 22-24 weeks
3. Duct heaters: 12-14 weeks
4. Split system: 4-6 weeks

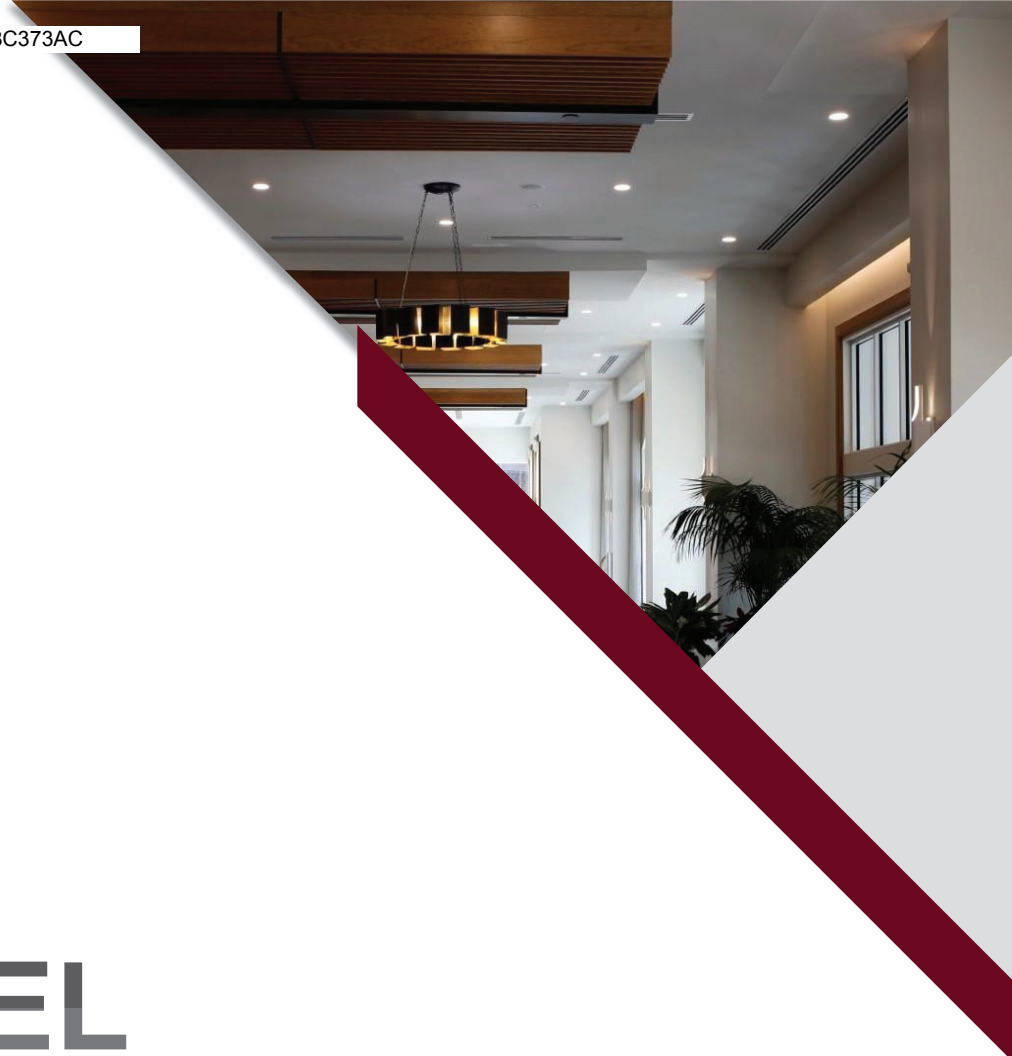
Division #16 – Electrical

2. Electrical

- a. Includes all electrical demo, required saw cutting of concrete floor, Controls, Lighting package per plans and specs dated 04/30/2024 “Not For Construction”.
- b. All gear included, Surge Protection Devices, Meter can and concrete pedestal, Temporary lighting and power.
 - i. Lead time is approximately 5-6 months for MDP's.
- c. Includes allowance for Investigation of Electrical Room Vault Access.

3. Technology

- a. Includes Voice Telephone Communications System, Data System, Telecom Room Outfit, Intrusion Detection Systems, Video Surveillance System, Emergency Power Backup per the Design and Construction Responsibilities Matrix on T0.02 dated 04/30/2024 “Not For Construction”.



TAB 4

**CHRIS-TEL
CONST/RUCTION
BILLABLE RATES**

TAB 4

Chris-Tel Construction Billable Rates

Attachment “A”

Billable Rates

06/25/2024

The following Chris-Tel Construction titled employees’ time spent working on the project will be billed to the project at the fixed rates listed below. These rates include all labor, labor burden, and fringe benefits costs.

POSITIONS	RATE/HR
PROJECT DIRECTOR	244
DIRECTOR OF OPERATIONS	151
CONSTRUCTION OPERATIONS MANAGER	135
SENIOR PROJECT MANAGER	116
PROJECT MANAGER I	105
PROJECT MANAGER II	115
PROJECT MANAGER – SCHEDULER	105
ASSISTANT PROJECT MANAGER	72
PROJECT ENGINEER	58
FIELD OPERATIONS MANAGER	135
SENIOR SUPERINTENDENT	132
SUPERINTENDENT I	108
SUPERINTENDENT II	118
ASSISTANT SUPERINTENDENT	71
CARPENTER	103
LABOR FOREMAN	82
LABORER	62
PROJECT COORDINATOR	60
CONSTRUCTION ADMINISTRATOR	52
DOCUMENT CONTROL SPECIALIST	64
INTERN	40
MANAGER – ESTIMATING	155
SENIOR ESTIMATOR	148
ESTIMATOR	101
JUNIOR ESTIMATOR	80
PROJECT MANAGER – CONTINUING CONTRACTS	142
SAFETY OFFICER	105
BIM/VDC	113
BIM/VDC COORDINATOR	93
IT SPECIALIST	75
MANAGER - ACCOUNTING	66
ACCOUNTING LEAD	49

TAB 4

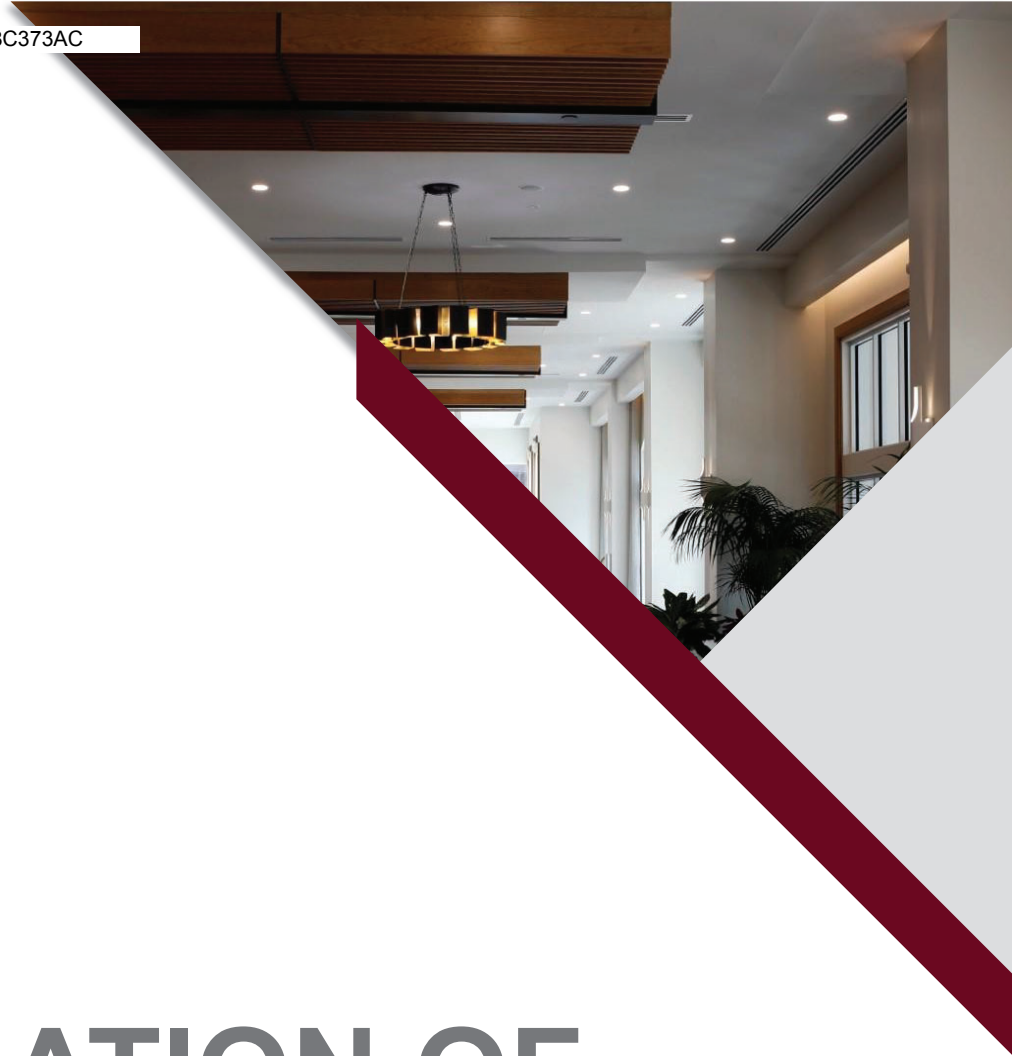
Chris-Tel Construction Billable Rates

Attachment "A"

Billable Rates

06/25/2024

PROJECT ACCOUNTANT	49
DIRECTOR, STRATEGIC DEVELOPMENT	151
MANAGER, STRATEGIC DEVELOPMENT	103
SENIOR MARKETING COORDINATOR	68
MARKETING COORDINATOR	45
V.P. OF FINANCE & ADMINISTRATION	151
MANAGER, HUMAN RESOURCES	87
HUMAN RESOURCES ASSISTANT	58
ADMINISTRATION	58



TAB 5

ENUMERATION OF DOCUMENTS

TAB 5

Enumeration of Documents

South County Regional Library Enumeration of Documents – 7.17.2024					
SHEET #	DESCRIPTION	ORIGINAL PLOT DATE	PERMIT SET	ADDENDUM #1	NOTES
	<u>Architectural</u>				
G0.01	Cover Sheet	4/30/2024	PERMIT SET 4/30/2024		
G0.02	Sheet Index	4/30/2024	PERMIT SET 4/30/2024	06/28/2024	
G0.03	General Information	4/30/2024	PERMIT SET 4/30/2024		
G0.04	ADA Accessibility Notes	4/30/2024	PERMIT SET 4/30/2024		
G0.05	Typical Mounting Heights	4/30/2024	PERMIT SET 4/30/2024		
G0.06	Transition Details & Typical Mounting Heights	4/30/2024	PERMIT SET 4/30/2024		
G0.07	General Framing Details	4/30/2024	PERMIT SET 4/30/2024		
AS.01	Architectural Site Plan	4/30/2024	PERMIT SET 4/30/2024		
A0.01	Wall Types	4/30/2024	PERMIT SET 4/30/2024		
A0.02	UL Assemblies	4/30/2024	PERMIT SET 4/30/2024		
A1.00D	Existing / Demo Floor Plan	4/30/2024	PERMIT SET 4/30/2024		
A1.10	New Library Internal Layout	4/30/2024	PERMIT SET 4/30/2024		
A1.20	Pump room & Mechanical Penthouse	4/30/2024	PERMIT SET 4/30/2024		
A1.30	Roof Plan	4/30/2024	PERMIT SET 4/30/2024		
A1.41	Building Signage Plan	4/30/2024	PERMIT SET 4/30/2024		
A1.42	Building Signage Schedule & Types	4/30/2024	PERMIT SET 4/30/2024		
A1.50	New Reflected Ceiling Plan	4/30/2024	PERMIT SET 4/30/2024	06/28/2024	
A1.51A	Alternate Bid #1 New Reflected Ceiling Plan - Entry Area	4/30/2024	PERMIT SET 4/30/2024		
A2.10A	Alternate Bid #1 Exterior Elevations	4/30/2024	N/A	06/28/2024	
A2.11	Exterior Elevations - Individual Pod	4/30/2024	PERMIT SET 4/30/2024		
A3.01	Building Sections	4/30/2024	PERMIT SET 4/30/2024		
A3.20	Wall Sections - Automatic Door	4/30/2024	PERMIT SET 4/30/2024		
A3.30	Ceiling Details	4/30/2024	PERMIT SET 4/30/2024		

TAB 5

Enumeration of Documents

A3.31	Ceiling Details	4/30/2024	PERMIT SET 4/30/2024		
A3.32	Ceiling Details	4/30/2024	PERMIT SET 4/30/2024		
A3.33	Roof Details	4/30/2024	PERMIT SET 4/30/2024		
A4.10	Service Stations Plans & Elevations	4/30/2024	PERMIT SET 4/30/2024		
A4.11	Enlarged Plans Interior Elevations	4/30/2024	PERMIT SET 4/30/2024		
A4.11A	Bid Alternate #2 Restroom Plans - Renovated	4/30/2024	N/A	06/28/2024	
A5.10	Enlarged Plans Interior Elevations	4/30/2024	PERMIT SET 4/30/2024		
A6.11	Signage Elevations	4/30/2024	PERMIT SET 4/30/2024 PERMIT SET 4/30/2024		
A6.12	Signage Elevations	4/30/2024	PERMIT SET 4/30/2024		
A6.13	Signage Elevations	4/30/2024	PERMIT SET 4/30/2024		
A6.14	End Panel Sections	4/30/2024	PERMIT SET 4/30/2024		
A7.10	Door & Glazing Schedule	4/30/2024	PERMIT SET 4/30/2024		
A7.11	Door and Frame Types	4/30/2024	PERMIT SET 4/30/2024		
A7.12	Doors, Storefront Section - Details	4/30/2024	PERMIT SET 4/30/2024		
A2.10A	Alternate Bid #1 Exterior Elevations	4/30/2024	PERMIT SET 4/30/2024/REV1	N/A	
A4.11A	Bid Alternate #2 Restroom Plans - Renovated	4/30/2024	PERMIT SET 4/30/2024/REV1	N/A	
A9.01A	3D Views at Entry	4/30/2024	PERMIT SET 4/30/2024		
A9.10	3D Interior Views	4/30/2024	PERMIT SET 4/30/2024		
	<u>Structural</u>				
S.10	ROOF PLAN	4/5/2024	PERMIT SET 4/30/2024		
	<u>Plumbing</u>				
P/FP001	PLUMBING / FP SYMBOLS, LEGEND, NOTES AND INDEX	02/29/24	PERMIT SET 4/30/2024	N/A	
P100	FLOOR PLAN - PLUMBING DEMOLITION- GRAVITY	02/29/24	PERMIT SET 4/30/2024		
P101	FLOOR PLAN - PLUMBING DEMOLITION PRESSURE	02/29/24	PERMIT SET 4/30/2024		

TAB 5

Enumeration of Documents

P102	FLOOR PLAN - PLUMBING - GRAVITY	02/29/24	PERMIT SET 4/30/2024		
P103	FLOOR PLAN - PLUMBING - PRESSURE	02/29/24	PERMIT SET 4/30/2024		
P400	PLUMBING ENLARGED PLANS & RISERS	02/29/24	PERMIT SET 4/30/2024		
P/FP001	PLUMBING / FP SYMBOLS, LEGEND, NOTES AND INDEX	02/29/24	PERMIT SET 4/30/2024	06/28/2024	
	<u>Mechanical</u>				
M0.01	MECHANICAL SYMBOLS, LEGEND, NOTES AND INDEX	01/30/24	PERMIT SET 4/30/2024		
M0.11	DEMOLITION FLOOR PLAN - MECHANICAL	03/21/24	PERMIT SET 4/30/2024		
M0.12	DEMOLITION FLOOR PLAN - MECHANICAL	03/21/24	PERMIT SET 4/30/2024		
M0.31	DEMOLITION ROOF PLAN - MECHANICAL	01/30/24	PERMIT SET 4/30/2024		
M1.11	FLOOR PLAN - MECHANICAL	01/30/24	PERMIT SET 4/30/2024		
M1.12	FLOOR PLAN - MECHANICAL	01/30/24	PERMIT SET 4/30/2024		
M1.31	ROOF PLAN - MECHANICAL	01/30/24	PERMIT SET 4/30/2024		
M2.10	ENLARGED PLANS - MECHANICAL PENTHOUSE	04/05/2024	PERMIT SET 4/30/2024		
M3.01	MECHANICAL SCHEDULES	02/27/24	PERMIT SET 4/30/2024		
M3.02	MECHANICAL SCHEDULES (ALT)	04/29/24	PERMIT SET 4/30/2024		
M4.01	MECHANICAL DETAILS	02/27/24	PERMIT SET 4/30/2024		
M4.02	MECHANICAL DETAILS	03/01/24	PERMIT SET 4/30/2024		
M5.01	MECHANICAL CONTROLS	03/19/24	PERMIT SET 4/30/2024		
M5.02	MECHANICAL CONTROLS	04/29/24	PERMIT SET 4/30/2024		
	<u>Electrical</u>				
E0.01	ELECTRICAL LEGEND AND INDEX	02/29/2024	PERMIT SET 4/30/2024		
E0.02	ELECTRICAL GENERAL NOTES	02/29/2024	PERMIT SET 4/30/2024		
E1.00	SITE PLAN - ELECTRICAL	02/29/2024	PERMIT SET 4/30/2024		
E1.11	FLOOR PLAN - ELECTRICAL POWER	02/29/2024	PERMIT SET 4/30/2024		
E1.12	FLOOR PLAN - ELECTRICAL LIGHTING	02/29/2024	PERMIT SET 4/30/2024		
E1.13	MAIN ENTRY PLAN - ELECTRICAL	02/29/2024	PERMIT SET 4/30/2024		

TAB 5

Enumeration of Documents

E1.30	ROOF PLAN - ELECTRICAL	02/29/2024	PERMIT SET 4/30/2024		
E2.00	ELECTRICAL RISER DIAGRAM	02/29/2024	PERMIT SET 4/30/2024		
E2.01	PANEL SCHEDULES	02/29/2024	PERMIT SET 4/30/2024		
E2.02	PANEL SCHEDULES	02/29/2024	PERMIT SET 4/30/2024		
E2.03	ELECTRICAL SCHEDULES	02/29/2024	PERMIT SET 4/30/2024		
E3.10	ELECTRICAL DETAILS	03/26/24	PERMIT SET 4/30/2024		
E3.11	ELECTRICAL DETAILS	03/26/24	PERMIT SET 4/30/2024		
E3.12	LIGHTING CONTROL DETAILS	04/16/24	PERMIT SET 4/30/2024		
E4.10	ENLARGED PLANS - ELECTRICAL	02/29/2024	PERMIT SET 4/30/2024		
E4.11	ENLARGED PLANS - ELECTRICAL	04/04/24	PERMIT SET 4/30/2024		
ED1.11	DEMOLITION FLOOR PLAN - ELECTRICAL	02/29/2024	PERMIT SET 4/30/2024		
	-				
	<i>Technology</i>				
T0.01	TECHNOLOGY SYMBOLS, LEGEND, NOTES AND INDEX	4/30/2024	PERMIT SET 4/30/2024		
T0.02	TECHNOLOGY, RESPONSIBILITY, MATRIX	4/30/2024	PERMIT SET 4/30/2024		
T1.00	SITE PLAN - TECHNOLOGY	4/30/2024	PERMIT SET 4/30/2024		
T1.01	FLOOR PLAN - TECHNOLOGY - DEMOLITION	4/30/2024	PERMIT SET 4/30/2024		
T1.11	FLOOR PLAN - TECHNOLOGY	4/30/2024	PERMIT SET 4/30/2024		
T1.21	REFLECTED CEILING PLAN -TECHNOLOGY	4/30/2024	PERMIT SET 4/30/2024		
T1.31	ROOF PLAN - TECHNOLOGY	4/30/2024	PERMIT SET 4/30/2024		
T4.01	ENLARGED PLANS - TECHNOLOGY	4/30/2024	PERMIT SET 4/30/2024		
T5.01	RACK ELEVATIONS	4/30/2024	PERMIT SET 4/30/2024		
T6.01	TECHNOLOGY RISER DIAGRAMS	4/30/2024	PERMIT SET 4/30/2024		
T6.11	AV RISER DIAGRAMS	4/30/2024	PERMIT SET 4/30/2024		
T7.01	TECHNOLOGY DETAILS	4/30/2024	PERMIT SET 4/30/2024		
T7.02	TECHNOLOGY DETAILS	4/30/2024	PERMIT SET 4/30/2024		
T7.03	TECHNOLOGY DETAILS	4/30/2024	PERMIT SET 4/30/2024		
T7.04	TECHNOLOGY DETAILS	4/30/2024	PERMIT SET 4/30/2024		

TAB 5

Enumeration of Documents

T7.11	SECURITY DOOR DETAILS	4/30/2024	PERMIT SET 4/30/2024		
	<u>Fire Alarm</u>				
FA1.00	SITE PLAN - FIRE ALARM	4/30/2024	PERMIT SET 4/30/2024		
FA1.11	FLOOR PLAN - FIRE ALARM	4/30/2024	PERMIT SET 4/30/2024		
FA1.30	ROOF PLAN - FIRE ALARM	4/30/2024	PERMIT SET 4/30/2024		
FA2.00	FIRE ALARM RISER AND NOTES	4/30/2024	PERMIT SET 4/30/2024		
FAD1.11	DEMOLITION PLAN - FIRE ALARM	4/30/2024	PERMIT SET 4/30/2024		
	-				
	-				
P001(FI)	FIRE PROTECTION SYMBOLS, LEGEND, NOTES AND INDEX	4/30/2024			
	<u>ID Drawings</u>				
ID1.00	INTERIOR ROOM FINISH SCHEDULE & NOTES			06/28/2024	
ID1.00	INTERIOR FINISH SCHEDULES & NOTES	4/30/2024	PERMIT SET 4/30/2024	N/A	
ID1.01	INTERIOR FINISH SCHEDULE	4/30/2024	PERMIT SET 4/30/2024	06/28/2024	
ID1.02	INTERIOR FINISH FLOOR PLAN	4/30/2024	PERMIT SET 4/30/2024	06/28/2024	
ID1.03	ENLARGED FINISH PLAN - BOH	4/30/2024	PERMIT SET 4/30/2024	06/28/2024	
ID1.04	ENLARGED FINISH PLAN - CHILDRENS	4/30/2024	PERMIT SET 4/30/2024	06/28/2024	
ID1.05	ENLARGED FINISH PLAN - TEEN	4/30/2024	PERMIT SET 4/30/2024	06/28/2024	
ID1.06	INTERIOR FINISH & FURNITURE FLOOR PLAN	4/30/2024	PERMIT SET 4/30/2024	06/28/2024	
ID2.01	FURNITURE PLAN	4/30/2024	PERMIT SET 4/30/2024	06/28/2024	
ID2.02	FURNITURE SCHEDULE AND TYPICALS	4/30/2024	PERMIT SET 4/30/2024	06/28/2024	
	<u>Code and Life Safety</u>				
L0.01	Code Analysis	4/30/2024	PERMIT SET 4/30/2024		
LS1.0	Life Safety Plan	4/30/2024	PERMIT SET 4/30/2024		
	<u>Specifications</u>				
	-				

TAB 5

Enumeration of Documents

	DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS				
	NOT APPLICABLE				
	DIVISION 1 - GENERAL REQUIREMENTS				
SECTION 011000	SUMMARY				
SECTION 012100	ALLOWANCES				
SECTION 012200	UNIT PRICES				
SECTION 012300	ALTERNATES				
SECTION 012500	SUBSTITUTION PROCEDURES				
SECTION 012600	CONTRACT MODIFICATION PROCEDURES				
SECTION 012900	PAYMENT PROCEDURES				
SECTION 013100	PROJECT MANAGEMENT AND COORDINATION				
SECTION 013200	CONSTRUCTION PROGRESS DOCUMENTATION				
SECTION 013300	SUBMITTAL PROCEDURES				
SECTION 014000	QUALITY REQUIREMENTS				
SECTION 014200	REFERENCES				
SECTION 015000	TEMPORARY FACILITIES AND CONTROLS				
SECTION 016000	PRODUCT REQUIREMENTS				
SECTION 017300	EXECUTION				
SECTION 017419	CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL				
SECTION 017700	CLOSEOUT PROCEDURES				
SECTION 017839	PROJECT RECORD DOCUMENTS				
SECTION 017900	DEMONSTRATION AND TRAINING				
	DIVISION 02 - EXISTING CONDITIONS				
SECTION 024119	SELECTIVE DEMOLITION				

TAB 5

Enumeration of Documents

	DIVISION 03 - CONCRETE				
SECTION 033000	CAST-IN-PLACE CONCRETE				
SECTION 033543	SEALED POLISHED CONCRETE FINISHING				
SECTION 035216	LIGHTWEIGHT INSULATING CONCRETE				
	DIVISION 04 - MASONRY				
	NOT APPLICABLE				
	DIVISION 05 - METALS				
SECTION 051200	STRUCTURAL STEEL FRAMING				
SECTION 053100	STEEL DECKING				
SECTION 054000	COLD-FORMED METAL FRAMING				
SECTION 055000	METAL FABRICATIONS				
	DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES				
SECTION 061000	ROUGH CARPENTRY				
SECTION 062000	FINISH CARPENTRY				
SECTION 064116	PLASTIC-LAMINATE-CLAD ARCHITECTURAL CABINETS				
	DIVISION 07 - THERMAL AND MOISTURE PROTECTION				
SECTION 071200	UNDER SLAB MEMBRANE VAPOR BARRIER				
SECTION 072100	THERMAL INSULATION				
SECTION 074213.23	ALUMINUM COMPOSITE MATERIAL (ACM) PANEL SYSTEM				
SECTION 075423	THERMOPLASTIC-POLYOLEFIN (TPO) ROOFING				
SECTION 076200	SHEET METAL FLASHING AND TRIM				
SECTION 077100	ROOF SPECIALTIES				
SECTION 077200	ROOF ACCESSORIES				
SECTION 078413	PENETRATION FIRESTOPPING				
SECTION 079200	JOINT SEALANTS				

TAB 5

Enumeration of Documents

SECTION 079219	ACOUSTICAL JOINT SEALANTS				
	DIVISION 08 - OPENINGS				
SECTION 081113	HOLLOW METAL DOORS AND FRAMES				
SECTION 081416	FLUSH WOOD DOORS				
SECTION 083323	OVERHEAD COILING DOORS				
SECTION 083326	OVERHEAD COILING GRILLES				
SECTION 083400	SPECIAL FUNCTION DOORS				
SECTION 084113	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS				
SECTION 084229	AUTOMATIC ENTRANCES				
SECTION 086223	TUBULAR SKYLIGHTS				
SECTION 087100	DOOR HARDWARE				
SECTION 087101	DOOR INDEX				
SECTION 087102	HARDWARE GROUPS				
SECTION 088000	GLAZING				
	DIVISION 09 - FINISHES				
SECTION 090561	COMMON WORK RESULTS FOR FLOORING PREPARATION				
SECTION 092116	GYPSUM BOARD ASSEMBLIES				
SECTION 093000	TILING				
SECTION 095100	ACOUSTICAL CEILINGS				
SECTION 095426	SUSPENDED WOOD CEILINGS				
SECTION 096500	RESILIENT FLOORING				
SECTION 096513	RESILIENT BASE AND ACCESSORIES				
SECTION 096813	TILE CARPETING				
SECTION 098311	ACOUSTICAL WALL SYSTEMS				
SECTION 099000	PAINING AND COATING				
SECTION 099600	HIGH-PERFORMANCE COATINGS				

TAB 5

Enumeration of Documents

	DIVISION 10 - SPECIALTIES				
SECTION 101400	SIGNAGE				
SECTION 102113.17	PHENOLIC-CORE TOILET COMPARTMENTS				
SECTION 102800	TOILET, BATH, AND LAUNDRY ACCESSORIES				
SECTION 104413	FIRE PROTECTION CABINETS				
SECTION 104416	FIRE EXTINGUISHERS				
SECTION 105100	LOCKERS				
SECTION 105613	METAL STORAGE SHELVING				
	DIVISION 11 - EQUIPMENT				
SECTION 113100	RESIDENTIAL APPLIANCES				
SECTION 115123	LIBRARY STACK SYSTEMS				
SECTION 115213	PROJECTION SCREENS				
	DIVISION 12 - FURNISHINGS				
SECTION 122113	LOUVER BLINDS				
SECTION 123623.13	PLASTIC-LAMINATE-CLAD COUNTERTOPS				
SECTION 123661.16	SOLID SURFACING COUNTERTOPS A242				
	DIVISION 13 - SPECIAL CONSTRUCTION				
	NOT APPLICABLE				
	DIVISION 14 - CONVEYING EQUIPMENT				
	NOT APPLICABLE				
	DIVISION 21 - FIRE SUPPRESSION				
SECTION 210500	COMMON WORK RESULTS FOR FIRE SUPPRESSION				
SECTION 210517	SLEEVES AND SLEEVE SEALS FOR FIRE-SUPPRESSION PIPING				
SECTION 210518	ESCUTCHEONS FOR FIRE-SUPPRESSION PIPING				

TAB 5

Enumeration of Documents

SECTION 211313	WET-PIPE SPRINKLER SYSTEMS				
	DIVISION 22 - PLUMBING				
SECTION 220500	COMMON WORK RESULTS FOR PLUMBING				
SECTION 220517	SLEEVES AND SLEEVE SEALS FOR PLUMBING PIPING				
SECTION 220518	ESCUTCHEONS FOR PLUMBING PIPING				
SECTION 220523	GENERAL-DUTY VALVES FOR PLUMBING PIPING				
SECTION 220529	HANGERS AND SUPPORTS FOR PLUMBING PIPING AND EQUIPMENT				
SECTION 220553	IDENTIFICATION FOR PLUMBING PIPING AND EQUIPMENT				
SECTION 220719	PLUMBING PIPING INSULATION				
SECTION 220800	COMMISSIONING OF PLUMBING				
SECTION 221116	DOMESTIC WATER PIPING				
SECTION 221119	DOMESTIC WATER PIPING SPECIALTIES				
SECTION 221316	SANITARY WASTE AND VENT PIPING				
SECTION 221319	SANITARY WASTE PIPING SPECIALTIES				
SECTION 223300	ELECTRIC, DOMESTIC-W				
	DIVISION 23 - HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)				
SECTION 230100	BASIC MECHANICAL REQUIREMENTS				
SECTION 230500	COMMON WORK RESULTS FOR HVA				
SECTION 230501	HVAC AIR-DISTRIBUTION SYSTEM CLEANING				
SECTION 230513	COMMON MOTOR REQUIREMENTS FOR HVAC EQUIPMENT				
SECTION 230517	SLEEVES AND SLEEVE SEALS FOR HVAC PIPING				
SECTION 230518	ESCUTCHEONS FOR HVAC PIPING				
SECTION 230519	METERS AND GAGES FOR HVAC PIPING				
SECTION 230523	GENERAL-DUTY VALVES FOR HVAC PIPING				

TAB 5

Enumeration of Documents

SECTION 230529	HANGERS AND SUPPORTS FOR HVAC PIPING AND EQUIPMENT				
SECTION 230548	VIBRATION CONTROLS FOR HVAC PIPING AND EQUIPMENT				
SECTION 230553	IDENTIFICATION FOR HVAC PIPING AND EQUIPMENT				
SECTION 230593	TESTING, ADJUSTING AND BALANCING FOR HVAC				
SECTION 230700	HVAC INSULATION				
SECTION 230800	COMMISSIONING OF HVAC				
SECTION 230900	INSTRUMENTATION AND CONTROLS FOR HVAC				
SECTION 232113	HYDRONIC PIPING				
SECTION 233113	METAL DUCTS				
SECTION 233713	DIFFUSERS, REGISTERS AND GRILLES				
SECTION 234100	ARTICULATE AIR FILTRATION				
SECTION 237313	MODULAR INDOOR CENTRAL-STATION AIR-HANDLING UNITS				
	DIVISION 25 - INTEGRATED AUTOMATION				
	NOT APPLICABLE				
	DIVISION 26 - ELECTRICAL				
SECTION 260010	BASIC ELECTRICAL REQUIREMENTS				
SECTION 260020	ACCEPTANCE TESTS AND PERFORMANCE VERIFICATION				
SECTION 260519	LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES				
SECTION 260526	GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS				
SECTION 260529	HANGERS & SUPPORTS FOR ELECTRICAL & COMMUNICATION SYSTEMS				
SECTION 260533	RACEWAYS & BOXES FOR ELECTRICAL & COMMUNICATION SYSTEMS				

TAB 5

Enumeration of Documents

SECTION 260544	SLEEVES & SLEEVE SEALS FOR ELECTRICAL RACEWAYS & CABLING				
SECTION 260553	IDENTIFICATION FOR ELECTRICAL SYSTEMS				
SECTION 260800	COMMISSIONING OF ELECTRICAL				
SECTION 260923	LIGHTING CONTROL DEVICES				
SECTION 260943	RELAY-BASED LIGHTING CONTROLS				
SECTION 262413	SWITCHBOARDS				
SECTION 262416	PANELBOARDS				
SECTION 262726	WIRING DEVICES				
	DIVISION 27 - COMMUNICATIONS				
SECTION 270010	TECHNOLOGY GENERAL PROVISIONS				
SECTION 270526	GROUNDING AND BONDING FOR TELECOMMUNICATIONS SYSTEMS				
SECTION 270528	RACEWAYS FOR TECHNOLOGY				
SECTION 271000	STRUCTURED CABLING SYSTEM				
SECTION 274100	AUDIO VISUAL SYSTEMS				
	DIVISION 28 - ELECTRONIC SAFETY AND SECURITY				
SECTION 281000	ELECTRONIC SECURITY SYSTEMS				
SECTION 281010	INTRUSION DETECTION SYSTEMS				
SECTION 283111	DIGITAL, ADDRESSABLE FIRE-ALARM SYSTEM				
	DIVISION 31 - EARTHWORK				
SECTION 313116	TERMITE CONTROL				
	DIVISION 32 - EXTERIOR IMPROVEMENTS				
	NOT APPLICABLE				
	DIVISION 33 - UTILITIES				
	NOT APPLICABLE				


TAB 5

Enumeration of Documents

	DIVISION 34 - TRANSPORTATION				
	NOT APPLICABLE				
	DIVISION 35 - WATERWAY AND MARINE CONSTRUCTION				
	NOT APPLICABLE				
	DIVISION 40 - PROCESS INTEGRATION				
	NOT APPLICABLE				
	DIVISION 41 - MATERIAL PROCESSING AND HANDLING EQUIPMENT				
	NOT APPLICABLE				
	DIVISION 42 - PROCESS HEATING, COOLING, AND DRYING EQUIPMENT				
	NOT APPLICABLE				
	DIVISION 43 - PROCESS GAS AND LIQUID HANDLING, PURIFICATION AND STORAGE EQUIPMENT				
	NOT APPLICABLE				
	DIVISION 44 - POLLUTION CONTROL EQUIPMENT				
	NOT APPLICABLE				
	DIVISION 45 - INDUSTRY- SPECIFIC MANUFACTURING EQUIPMENT				
	NOT APPLICABLE				
	DIVISION 46 - WATER AND WASTEWATER EQUIPMENT				
	NOT APPLICABLE				
	DIVISION 48 - ELECTRICAL POWER GENERATION				
	NOT APPLICABLE				
	DIVISION 99 - NARRATIVES				

TAB 5

Enumeration of Documents



	NOT APPLICABLE				



BUILD | RESTORE | PRESERVE

2534-A Edison Avenue | Fort Myers, Florida 33901 | (239) 226-0500 | www.christelconstruction.com

CHRIS-TEL
CONSTRUCTION

CMR210460BAG
South County Regional Library Renovation - Construction Manager at Risk
Contract No. 9436 – Amendment No.1

E1 Contract # _____

EXHIBIT B
CONSTRUCTION PLANS

- SOLENOID OPERATING VALVE

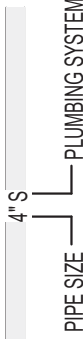
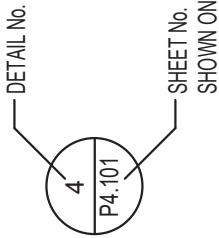
- GAS COCK

- GAS PRESSURE REGULATOR

- DETAIL REFERENCE

- PIPE TAG

- REVISION REFERENCE



NIC	-	NOT IN CONTRACT
NO	-	NORMALLY OPEN
NP	-	NON-POTABLE WATER
NTS	-	NOT TO SCALE
OD	-	OUTSIDE DIAMETER
PRV	-	PRESSURE REDUCING VALVE
PSI	-	POUNDS PER SQUARE INCH
PVC	-	POLYVINYL CHLORIDE PIPE
RD	-	ROOF DRAIN
RPBP	-	REDUCED PRESSURE BACKFLOW PREVENTOR
SAN	-	SANITARY
SD	-	STORM DRAIN
SF	-	SQUARE FEET
SH	-	SHEET
ST	-	STORM
STO	-	OVERFLOW STORM DRAIN
SW	-	SOFT COLD WATER
V	-	VENT
VAC	-	VACUUM
VC	-	VACUUM CLEANING
VTR	-	VENT THRU ROOF
WCO	-	WALL CLEANOUT
WTR	-	WATER

NOTE: SOME SYMBOLS SHOWN ON THIS LEGEND MAY NOT PERTAIN TO THIS PROJECT

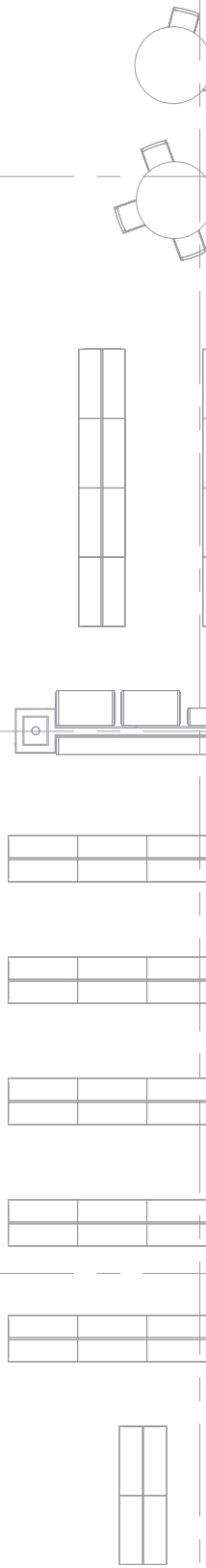
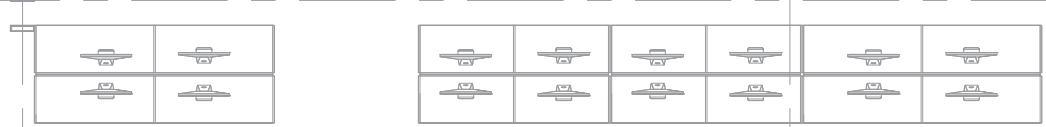
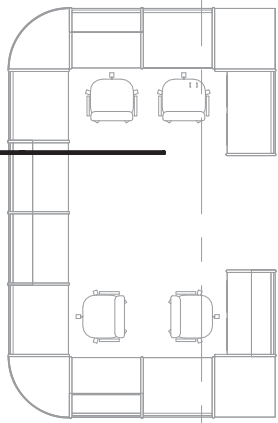
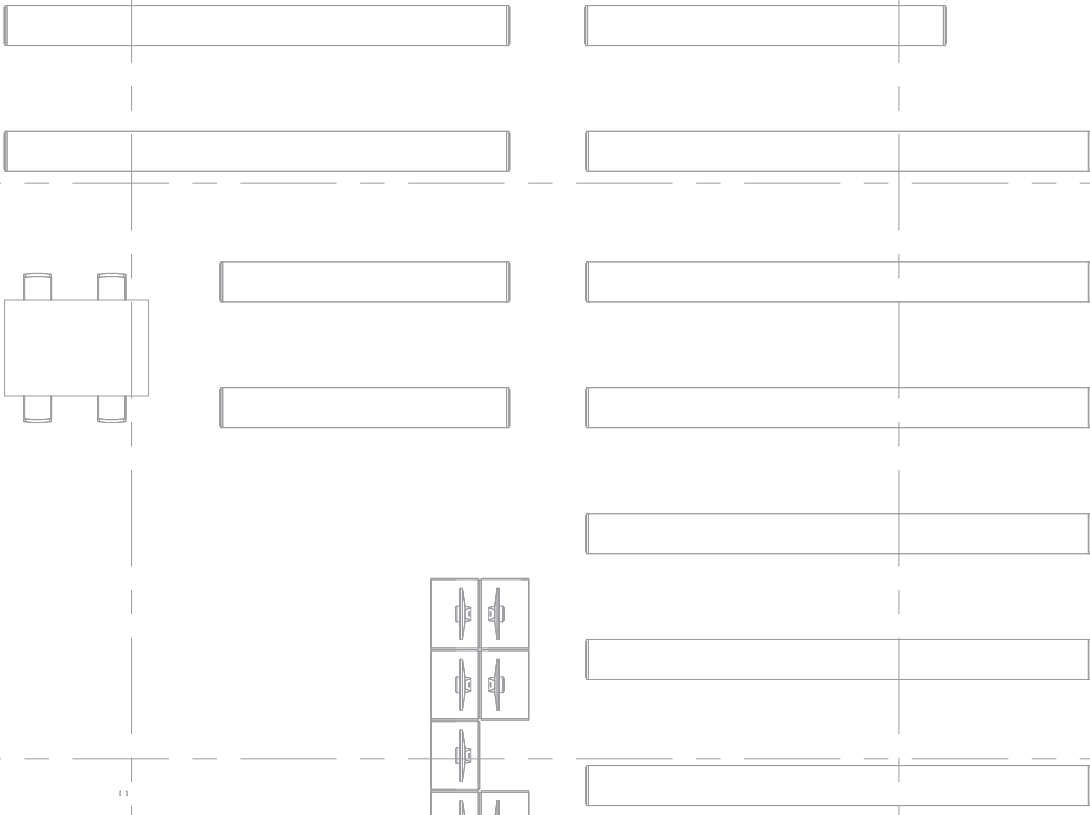
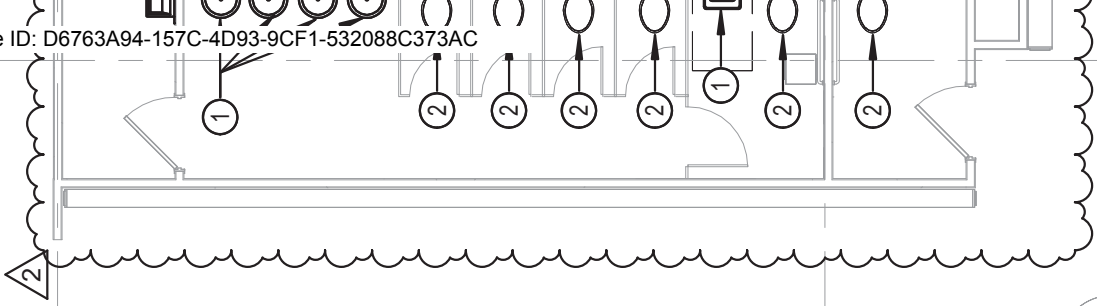
DIMENSIONS		OPERATING WEIGHT	SPECIFICATIONS / NOTES
WIDTH	4"	6 lb	PROVIDE EXTERNAL ASSE 1017 COMPLIANT MIXING VALVE OR AN INTEGRAL ASSE 1070 RATED MIXING VALVE IN THE UNIT.

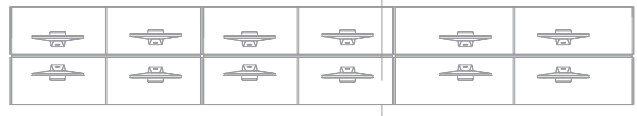
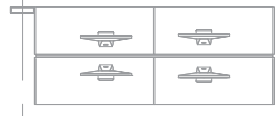
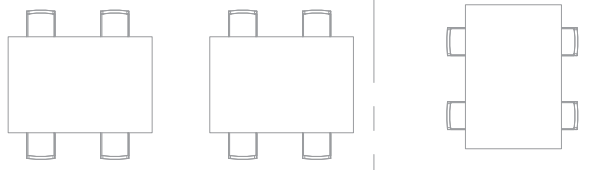
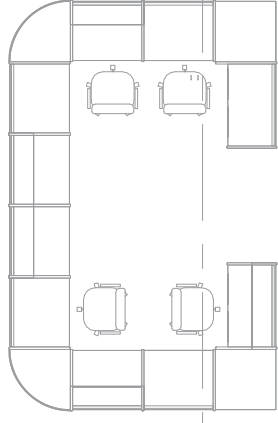
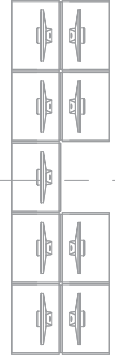
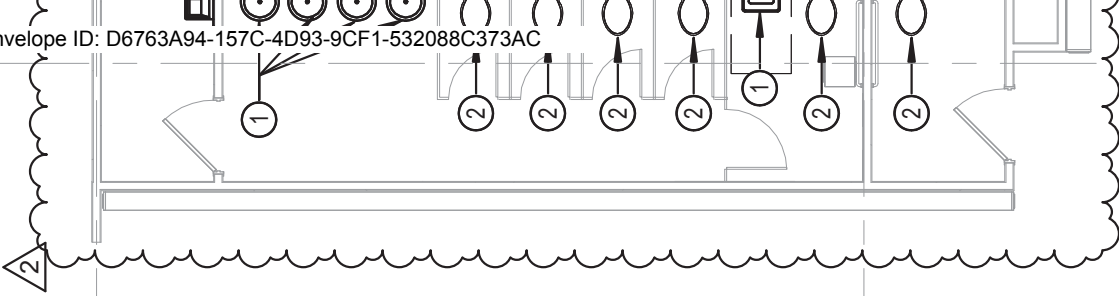
DESCRIPTION / SPECIFICATIONS

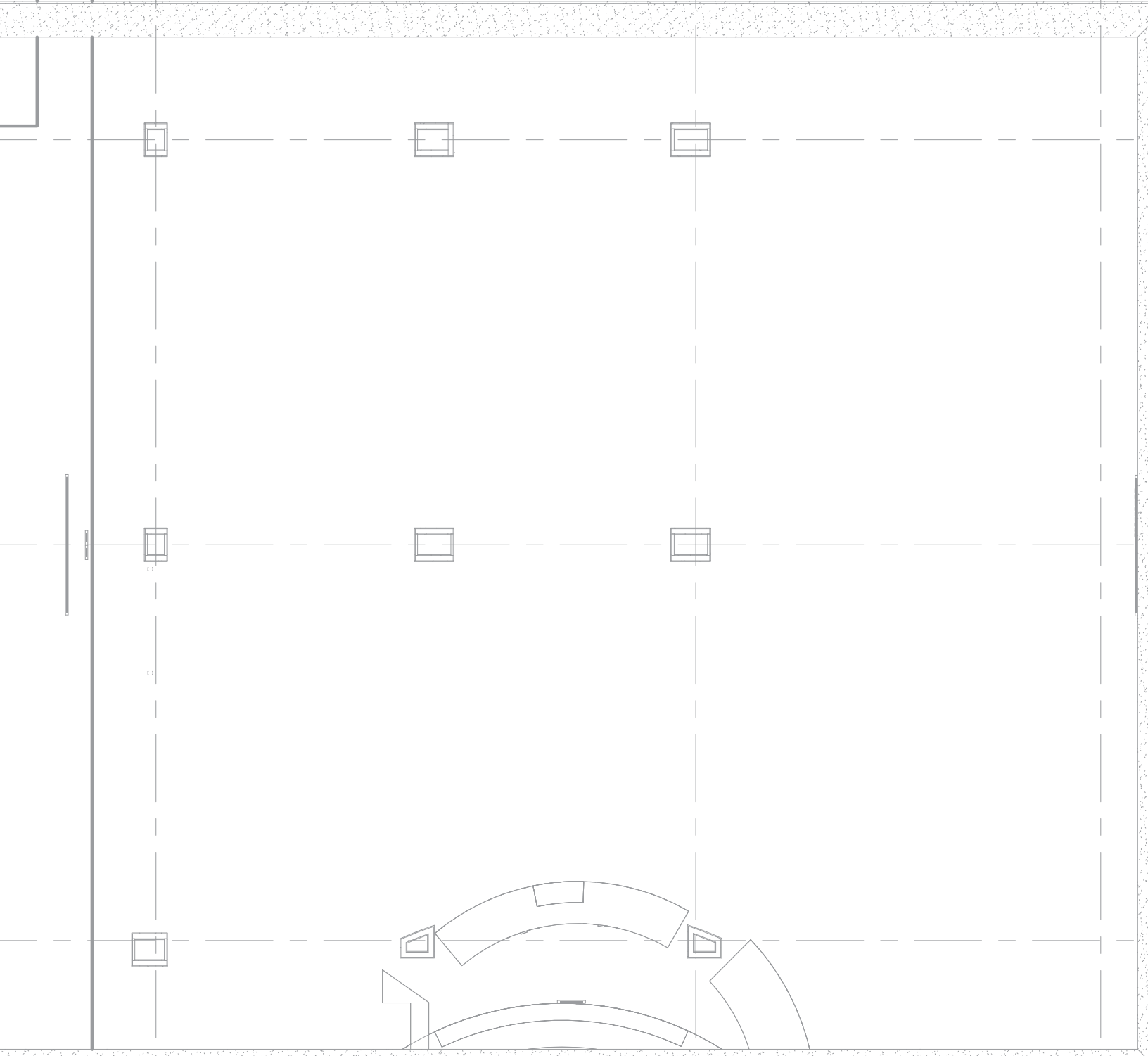
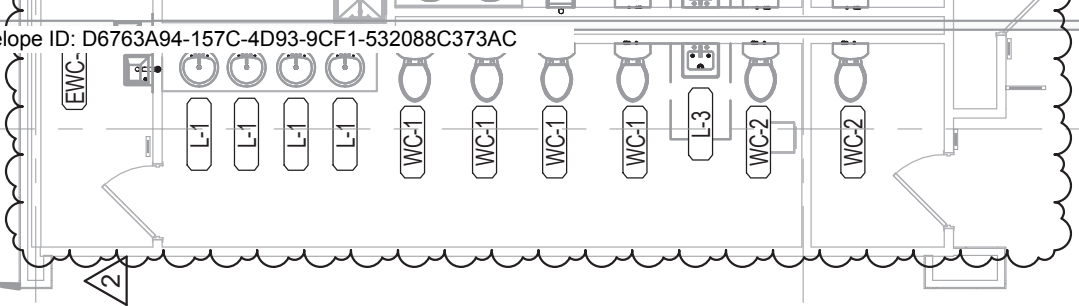
UNA, 1.28 GALLON, WALL HUNG, SIPHON JET, ELONGATED CLOSET BOWL WITH 1-1/2 INCH TOP SPUD.

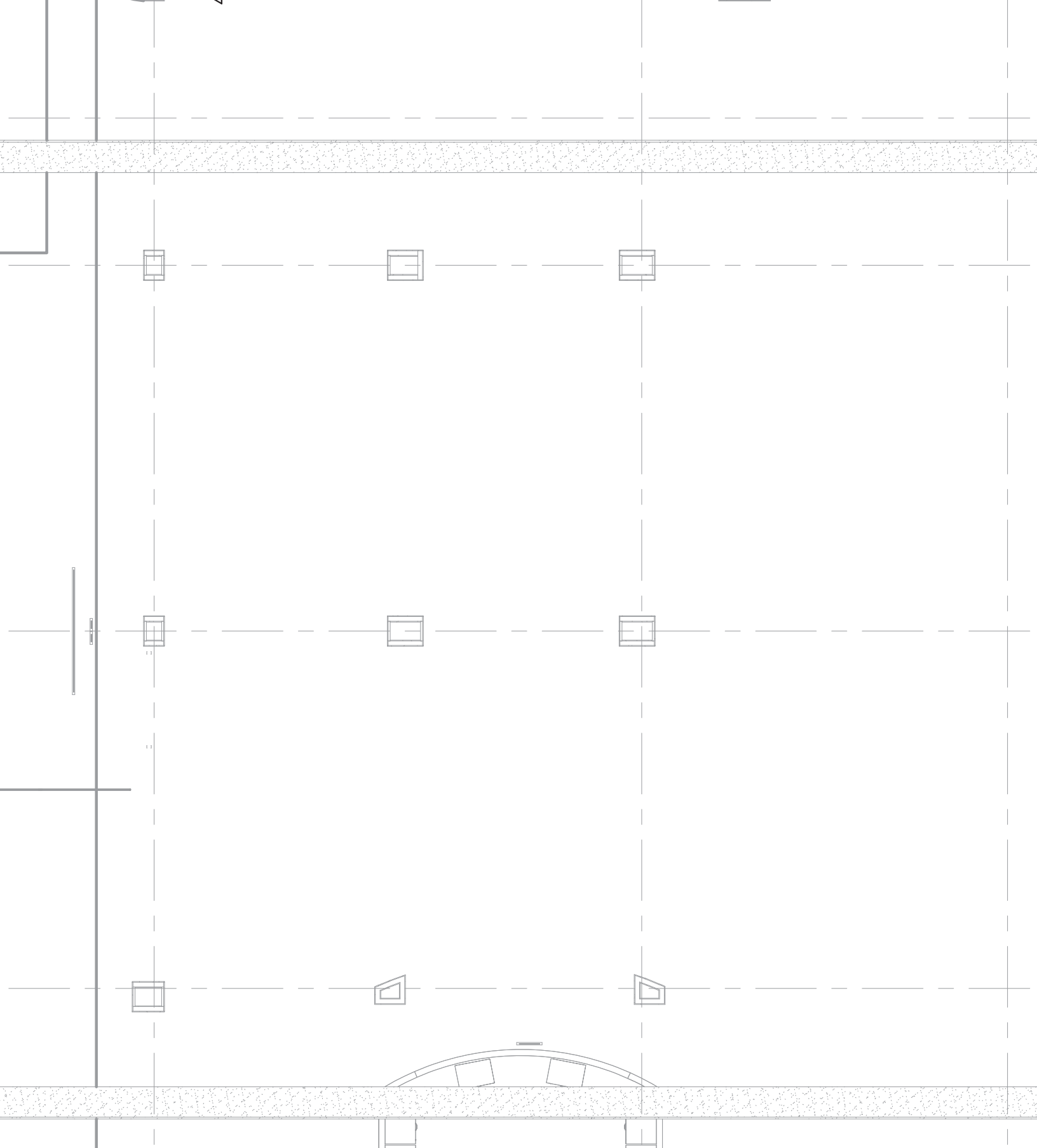
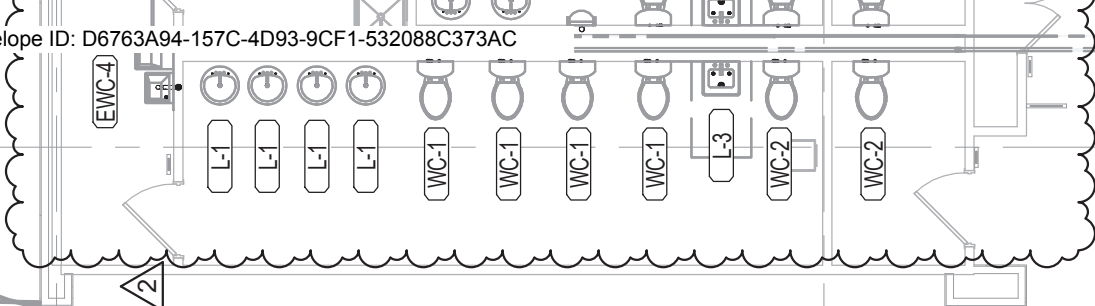
GENERAL PRESSURE DEMOLITION NOTES

- EXISTING CONDITIONS SHOWN ON THIS DRAWING ARE TAKEN FROM ORIGINAL DRAWINGS. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO DEMOLITION. FIELD CONDITIONS SHALL GOVERN. FIELD VERIFY LOCATIONS OF PIPING BEFORE DEMOLITION. PROVIDE ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT COORDINATE WITH THE ARCHITECTURAL DRAWING FOR ITEMS NOT INDICATED. COORDINATE DEMOLITION OF PIPING WITH NEW WORK. PIPING CONNECTING TO AREAS OUTSIDE OF RENOVATED SPACE SHALL NOT TO BE



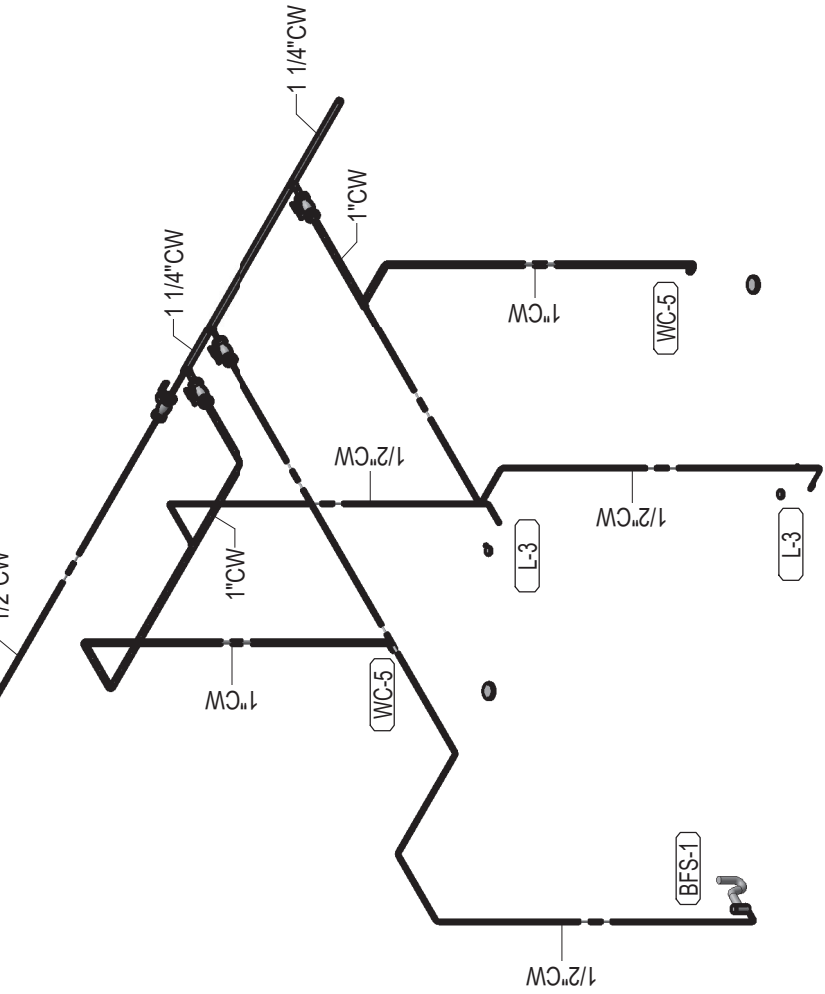








- PRESSURE



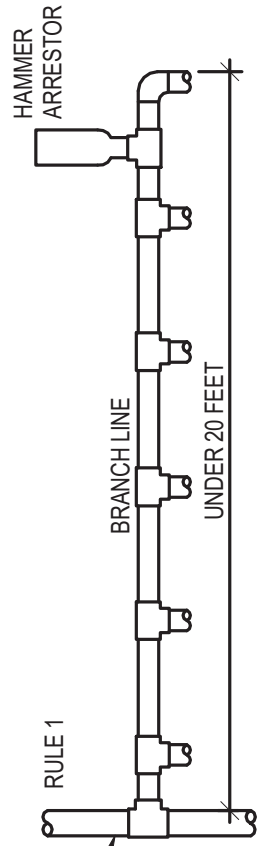
EAST SINK - GRAVITY

5



INES OF 20 FEET OR LESS.

ESTOR TO BE PLACED AT THE END OF THE BRANCH LINE BETWEEN THE LAST TWO FIXTURES.



ES OVER 20 FEET



GRACE HERBERT CURTIS ARCHITECTS, INC.
 1501 N.W. 10TH AVENUE, SUITE 200
 MIAMI, FLORIDA 33136
 PHONE: 305.371.3333
 FAX: 305.371.3334
 WWW.GRACEHERBERTCURTISARCHITECTS.COM

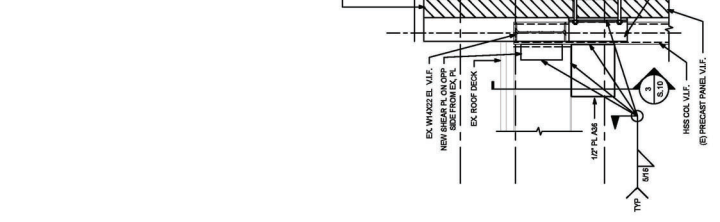
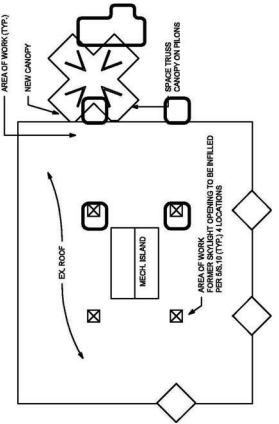
Lee County South Regional Library
 21100 Three Oaks Pkwy, Estero, FL 33928

PERMIT SET

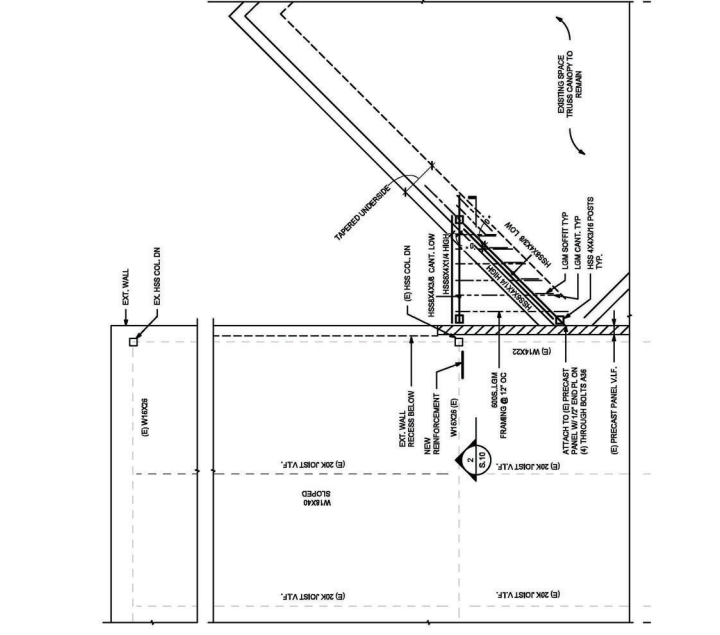
DATE: 04/30/2024
 PROJECT NO.: 2121.01
 100% Const. Documents

ROOF PLAN

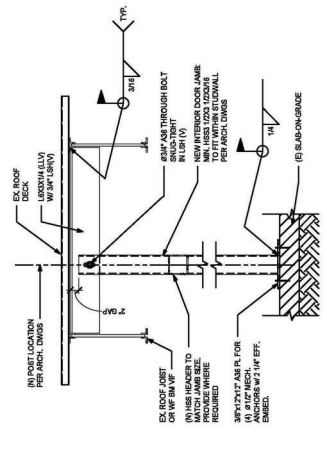
S.10



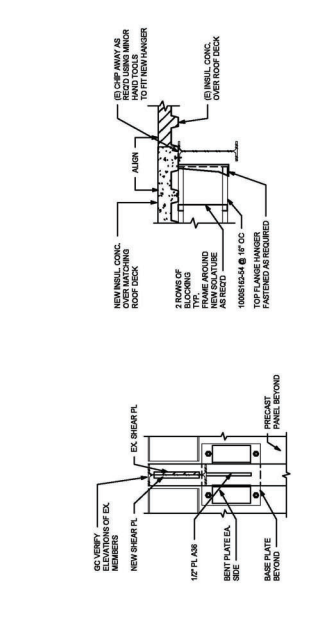
NOTES:
 1. REFER TO ARCHITECTURAL DRAWINGS ON ROOF SLOPE, FREE PROOFING AND WATERPROOFING REQUIREMENTS FOR THE ROOF PROFILE.
 2. ALL NEW UNFINISHED BEAMS SHALL BE AT THE SAME ELEVATION.
 3. ALL NEW UNFINISHED BEAMS SHALL BE AT THE SAME ELEVATION.



NOTES:
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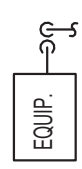
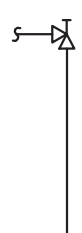
GENERAL STRUCTURAL NOTES
 1. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE TYPICAL AND APPLY TO SIMILAR PARTS UNLESS OTHERWISE INDICATED. ADAPT REQUIREMENTS OF THE PANEL SECTIONS, PLANS, AND NOTES AT LOCATIONS WHERE CONDITIONS ARE SIMILAR.
 2. REFER TO THE DESIGNER'S SPECIFICATIONS AND NOTES FOR MATERIALS, FINISHES, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
 3. MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR THE LOCATION OF MECHANICAL, ELECTRICAL, PLUMBING, AND SITE EQUIPMENT.
 4. CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES PRIOR TO EXCAVATION OR BUILDING CONSTRUCTION. THE BUILDING STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 2023 F.E.D. OF THE FLORIDA BUILDING CODE. FOLLOW ALL APPLICABLE PROVISIONS FOR THE 2023 F.E.D. OF THE FLORIDA BUILDING CODE.
 5. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION OR BUILDING CONSTRUCTION. THE BUILDING STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 2023 F.E.D. OF THE FLORIDA BUILDING CODE. FOLLOW ALL APPLICABLE PROVISIONS FOR THE 2023 F.E.D. OF THE FLORIDA BUILDING CODE.
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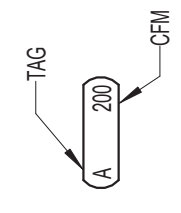
FF -FINAL FILTERS
 FLA -FULL LOAD AMPS
 FPM -FEET PER MINUTE
 GPM -GALLONS PER MINUTE
 KW -KILOWATT
 LAT -LEAVING AIR TEMPERATURE
 LWT -LEAVING WATER TEMPERATURE

TSP
 UNO
 VIPH
 VAV
 VFD

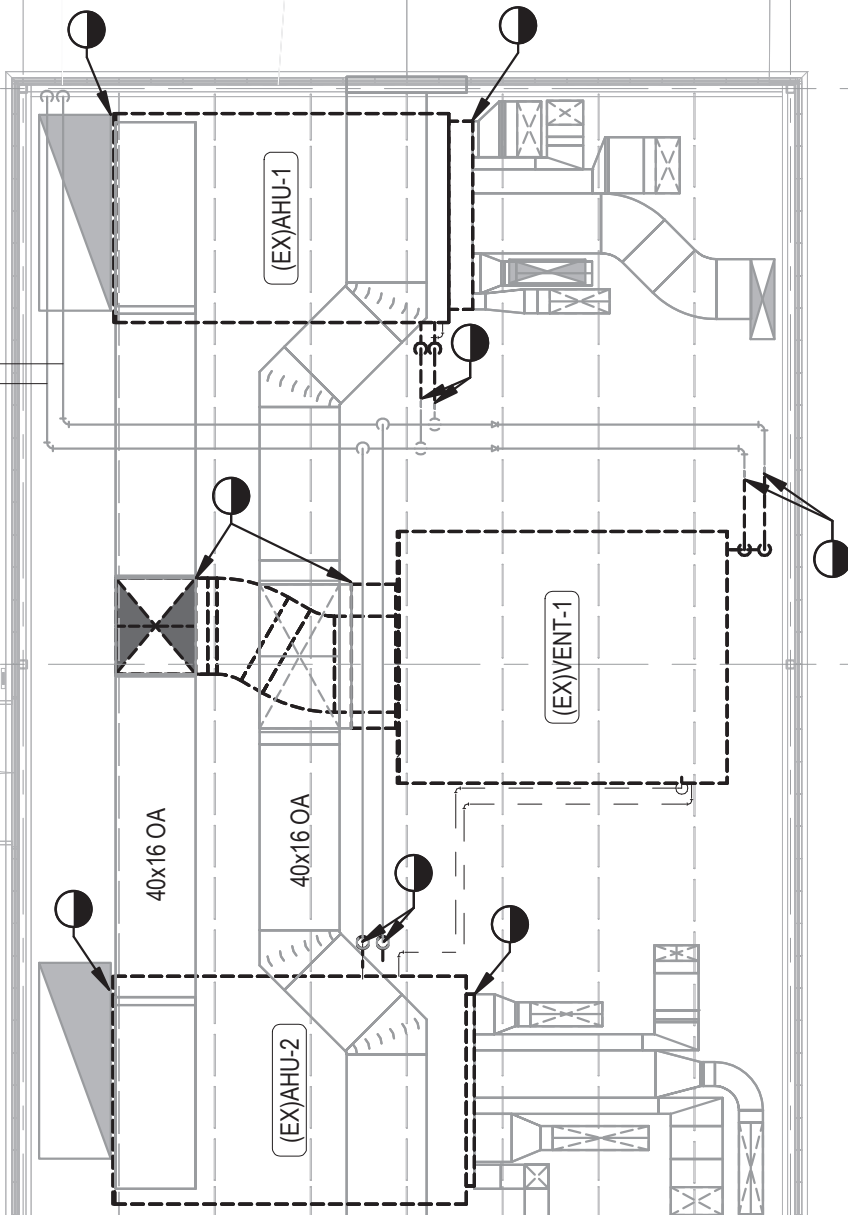
FF	FLA	FPM	GPM	KW	LAT	LWT
-CHANGE OF ELEVATION						
-FLEXIBLE DUCT						
-TRANSITION, CONCENTRIC						
-TRANSITION, ECCENTRIC						
-TRANSITION, SQUARE TO ROUND						
-SQUARE THROAT TEE						
-RADIUS TEE						
-RECTANGLE-TO-ROUND TAKE-OFF						
-STANDARD BRANCH TAKE-OFF						
-SPIN-IN TAKE-OFF						

SYMBOL	DESCRIPTION
	- P-TRAP
	-TWO-WAY CHECK VALVE

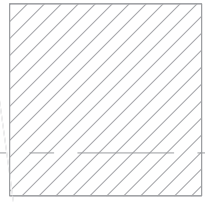
HVAC EQUIPMENT TAGS

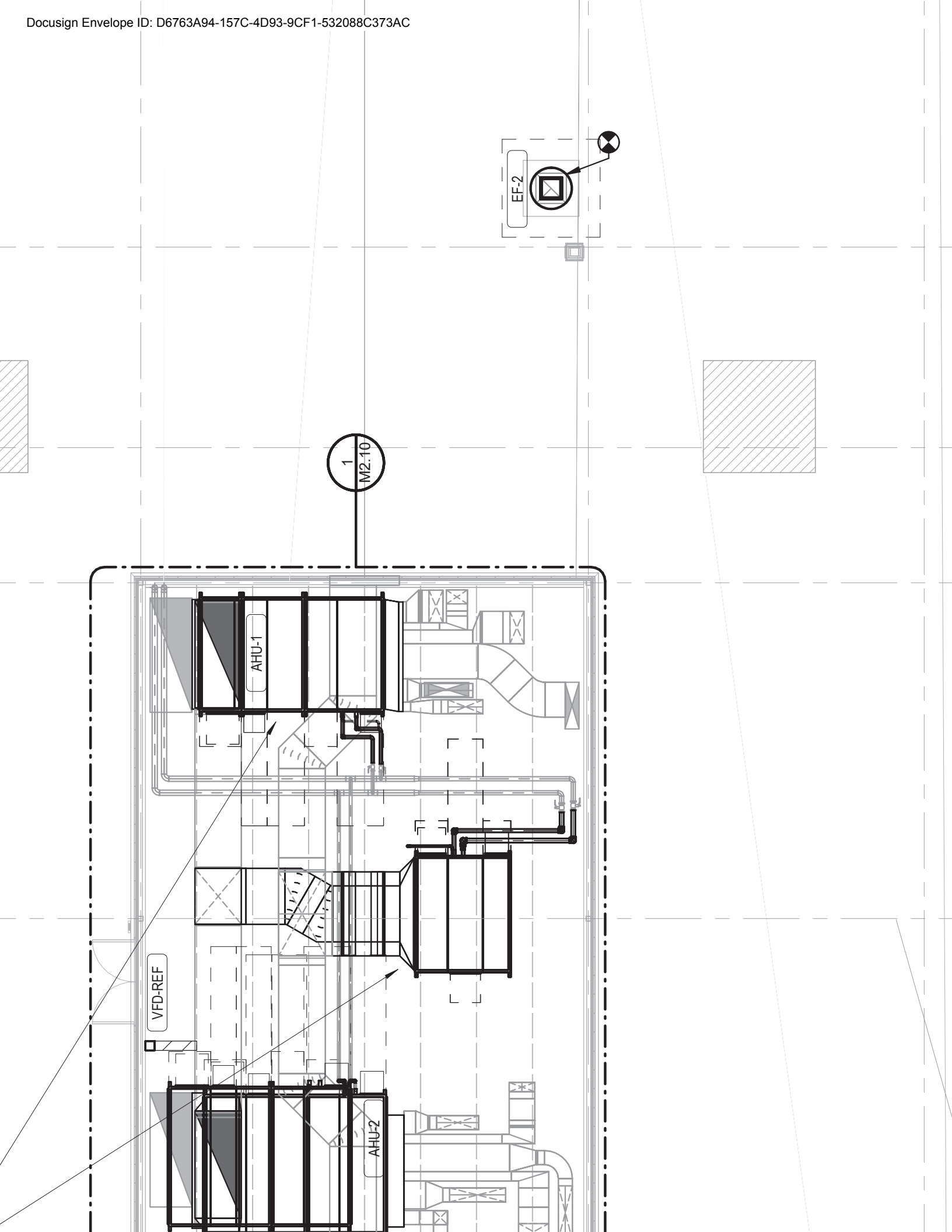


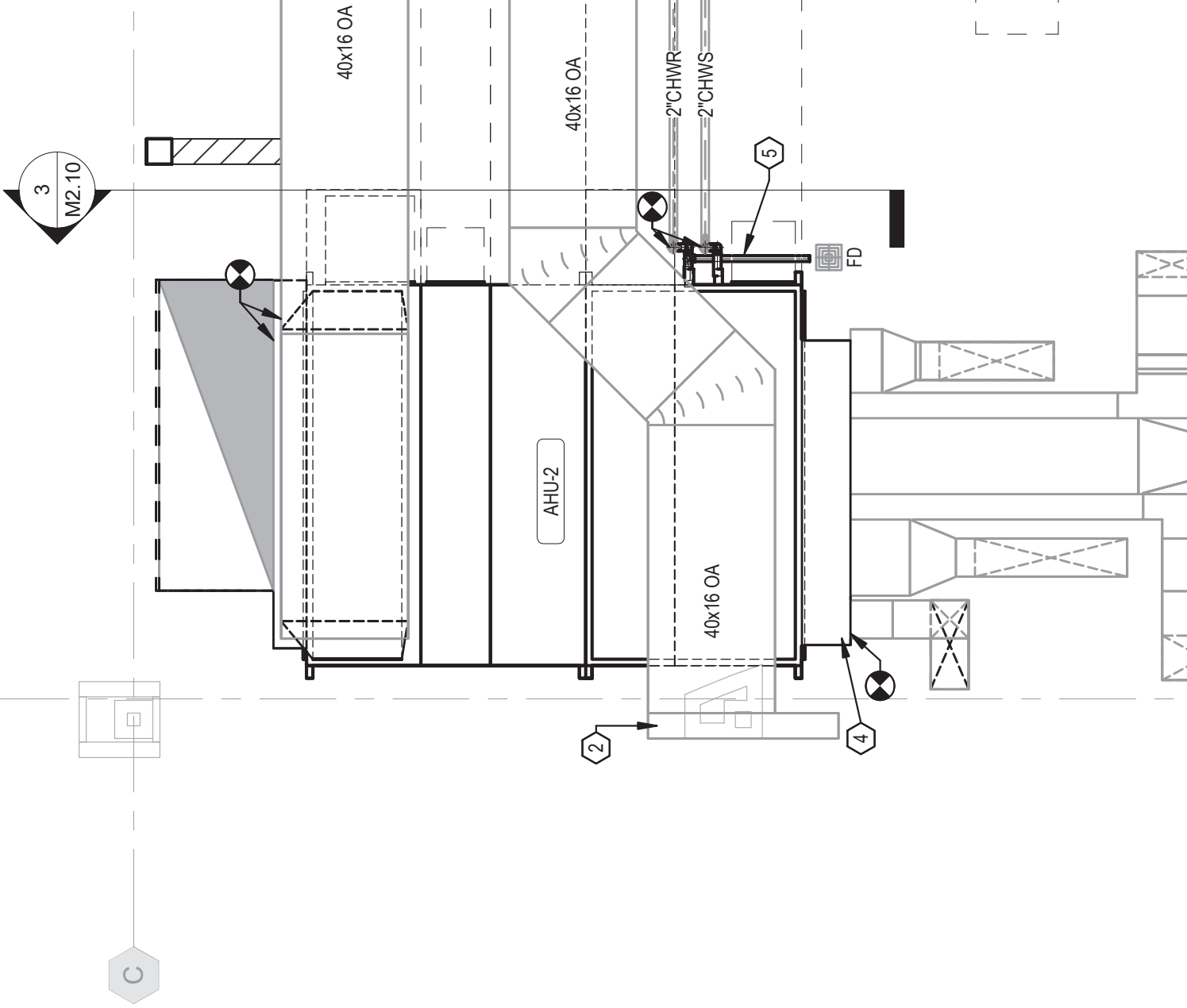
4"CHWR
4"CHWS



REMOVE EXISTING EXHAUST
FAN. MODIFY CURB AS
REQUIRED FOR PROJECT
INSTALLED EXHAUST FAN







- 9. PROVIDE 6" HIGH BASE RAIL AND A MINIMUM 3/4" THICK NEOPRENE BELOW BASE RAIL.
- 10. FAN PERFORMANCE SHALL BE BASED ON FINAL PRESSURE DROP OF 0.60" FOR MERV 8 FILTERS. MAXIMUM ALLOWABLE FAN RPM FOR ALL DIRECT DRIVE FANS SHALL BE 1900 RPM.

FAN SCHEDULE

PLAN MARK	MODEL	AREA SERVED	TYPE	TOTAL CFM	EXT. SP (IN WG.)	MAX FAN BHP	MOTOR HP	MOTOR RPM	VOLTS/PHASE
EF-1	G-098-VG	STAFF RESTROOMS	ROOFTOP	520	0.75	0.15	0.25	1725	120/1
EF-2	G-120-VG	PUBLIC RESTROOMS	ROOFTOP	1275	0.75	0.35	0.5	1725	120/1
EF-3	SP-B50	AV CLOSET	CEILING	50	0.1	-	4 WATTS	600	120/1
REF-1	G-200HP-B	RELIEF AIR	ROOFTOP	3000	1.0	1.1	1.5	1140	208/3

NOTES:

1. BASIS OF DESIGN: GREENHECK
2. PROVIDE SPEED CONTROLLER, WHERE FAN MODEL IS "VG" PROVIDE EC MOTOR WITH SPEED CONTROLLER INTEGRAL TO EC MOTOR.
3. MOTOR TO BE INVERTER DUTY PREMIUM EFFICIENCY TEFC.
4. PROVIDE HURRICANE TIE DOWN TO ROOF CURB TO MEET FBC HIGH WIND REQUIREMENTS, TIEDOWN DESIGN PER REGISTERED ENGINEER.
5. MOTOR/FAN TO BE UL 705 LISTED, PROVIDE EXTRUDED ALUMINUM BACKDRAFT DAMPER.
6. PROVIDE WALL MOUNTED THERMOSTAT AND TIE INTO FAN SO THAT FAN RUNS WHENEVER SPACE TEMPERATURE IS ABOVE 80 DEGREES F, OTHERWISE REMAIN OFF.

PLAN MARK

- P-1A
- P-1B
- P-2A
- P-2B

NOTES:

1. BASIS OF DESIGN: TAC
2. PUMPS SHALL BE BRO
3. FURNISH WITH SUCTIC
4. FURNISH WITH PREMII
5. ALL PUMPS TO CIRCUI
6. PROVIDE INVERTER D
7. REFER TO THE FORMAL

2-1/1
No Ca

STA DIS
OPP BLA
DAM
CEIL

CONDENSATE DRAIN PIPING DIMENSIONS:

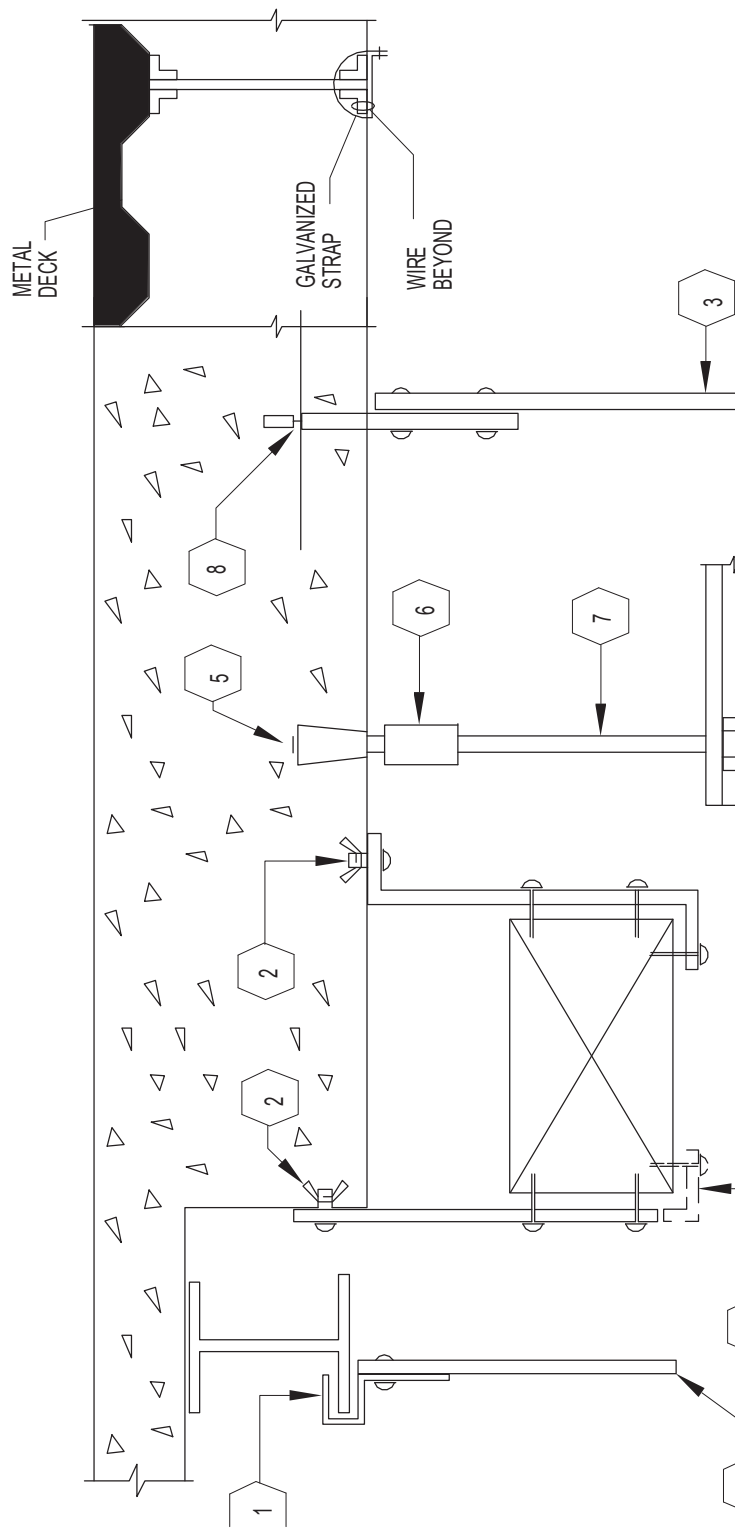
- A = FULL SIZE OF UNIT DRAIN CONNECTION
- B > 1-1/2" TIMES FAN SUCTION STATIC PRESSURE
- C > FAN DISCHARGE STATIC PRESSURE PLUS 1/2" INCH

COORDINATE MOUNTING/CURB HEIGHT AS REQUIRED TO PROVIDE PROPER CONDENSATE DRAINAGE.

AHU CONDENSATE DRAIN TRAP

No Scale

2



3

ECCENTRIC REDUCER
CONCRETE HOUSEKEEPING PAD
PIPE TO NEAREST FLOOR DRAIN

NOTE:
ALL COMPONENTS ARE FULL LINE SIZE UNLESS NOTED OTHERWISE.

END SUCTION PUMP

No Scale

2

PIPE PIPING

CKET

AVY

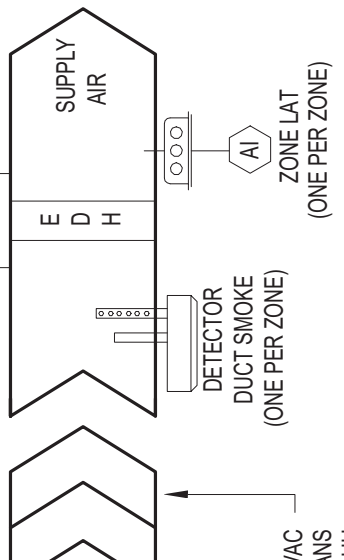


INDICATE AN ALARM CONDITION AT THE FRONT-END CONTROLS WORKSTATION SHOULD A CO₂ SENSOR INDICATE A SPACE CO₂ LEVEL EXCEEDING 1100 PPM CO₂ MONITORING: THE DDC SYSTEM SHALL MONITOR THE OUTSIDE AIR FLOW USING THE AIR FLOW MEASUREMENT STATION. THE SYSTEM SHALL INDICATE, ALARM AND NOTIFY THE WORKSTATION SHOULD THE OUTDOOR AIRFLOW EXCEED PLUS OR MINUS 15% OF THE DESIGN OUTDOOR AIRFLOW FOR MORE THAN 15 MINUTES.

DEMAND CONTROL VENTILATION: A DEMAND CONTROL VENTILATION ROUTINE WILL BE USED (DURING OCCUPIED MODE) TO DETERMINE THE OUTSIDE AIR FLOW. THE SYSTEM SHALL MONITOR THE OUTSIDE AIR FLOW USING THE AIR FLOW MEASUREMENT STATION. THE SYSTEM SHALL INDICATE, ALARM AND NOTIFY THE WORKSTATION SHOULD THE OUTDOOR AIRFLOW EXCEED PLUS OR MINUS 15% OF THE DESIGN OUTDOOR AIRFLOW FOR MORE THAN 15 MINUTES.

UNOCCUPIED MODE: THE OUTSIDE AIR DAMPER SHALL BE CLOSED AND THE CHILLED WATER VALVE SHALL BE COMMANDED CLOSED. THE ASSOCIATED EXHAUST FAN SHALL BE OFF. UPON A CALL FOR COOLING OR HEATING TO MAINTAIN UNOCCUPIED TEMPERATURE SETPOINTS, THE AHU FAN SHALL START AND THE CHW CONTROL VALVE SHALL OPEN. THE TEMPERATURE OF 55°F (ADJ.) PROVIDE A HUMIDITY OVERRIDE ROUTINE TO START THE CHILLED WATER AND OPERATE THE AHU DURING PERIODS WHEN THE HUMIDITY IS BELOW HIGH LIMIT MINUS 5%RH DEADBAND, THEN THE DAMPER SHALL REMAIN CLOSED. COORDINATE SCHEDULE W/OWNER.

WHEN THE AHU IS SCHEDULED "OFF" BY THE BMS, THE CHILLED WATER VALVES SHALL BE COMMANDED CLOSED. IF THE CHILLED WATER VALVES FAIL, THE SAFETIES: ACTIVATION OF THE VFD FAULT ALARM, ACTIVATION OF THE DUCT SMOKE DETECTOR(S), OR ACTIVATION OF THE BUILDING FIRE ALARM SYSTEM SAFETIES SHALL BE INTERLOCKED WITH THE FAN WHEN OPERATING THROUGH THE DDC CONTROLLER OR STARTER BYPASS CONTACT.



PROVIDE EMS DISPLAY AND ALARMS FOR:

- SUPPLY FAN START/STOP
- SUPPLY FAN STATUS - CURRENT SENSOR
- SUPPLY FAN FAILED TO START - ALARM
- SUPPLY AIR TEMP (°F) AND SETPOINT
- ZONE HEATING (STAGE PER ZON)
- ZONE LEAVING AIR TEMP. °F (PER ZONE)
- RETURN AIR RELATIVE HUMIDITY (%RH)
- RA RELATIVE HUMIDITY SETPOINT (%RH)
- RETURN AIR TEMP °F.
- RETURN AIR CO2 - PPM
- RETURN AIR CO2 SETPOINT - PPM
- GLOBAL OUTDOOR AIR TEMPERATURE °F.
- O.A. COOLING COIL LEAVING AIR TEMP °F.
- O.A. AIR DAMPER POSITION - STATUS
- OUTDOOR AIR FLOW (CFM)
- OA FLOW BELOW SETPOINT (OCCUPIED ONLY) - ALARM
- CHILLED WATER VALVES POSITION (0-100%) - STATUS
- COOLING COIL LEAVING AIR TEMP °F.
- COOLING COIL ENTERING AIR TEMP °F.
- FACE AND BYPASS DAMPER POSITION, EACH (0-100%)
- FILTER ALARM
- FILTER STATUS (IN. WG)
- SPACE TEMPERATURE AND EXCEEDS 80°F. (ADJ.) - ALARM

TITLE: AHU-1, AHU-2

SEQUENCE OF OPERATIONS

THE SUPPLY FAN SHALL BE STARTED/STOPPED DURING OCCUPIED/UNOCCUPIED PERIODS BY THE EMS DIRECT DIGITAL CONTROLLER (DDC) ACCORDING TO A MODELS IN "AUTO" POSITION. UPON PROOF OF SUCCESSFUL START AND OPERATION OF THE SUPPLY FAN, THE INTERLOCKED OUTDOOR AIR DAMPER SHALL OPEN AND PROVIDE OUTPUT SIGNAL FROM AIRFLOW MEASUREMENT MONITORING STATION (REFER TO AHU SCHEDULE; O.A. VALUE TO BE SOFTWARE ADJUSTABLE). OUTDOOR AIR DAMPER SHALL FAIL SHUT. PROVIDE NOTIFICATION THROUGH THE EMS UPON DAMPER FAILURE. OUTDOOR AIR MONITOR SHALL PROVIDE AN ALARM THROUGH DDC IF AIRFLOW.

PROVIDE HUMIDITY OVERRIDE ROUTINE FOR THE AHU TO START THE CHILLED WATER PLANT AND OPERATE THE AHU DURING UNOCCUPIED PERIODS WHEN SUPPLY HUMIDITY RESET TO 51°F FOR THE HUMIDITY OVERRIDE ROUTINE. SPACE HUMIDITY SENSOR IS INDICATED ON PLANS. HUMIDITY SHALL EXCEED SETPOINT FOR A MINIMUM OF 15 MINUTES. PROVIDE HIGH TEMPERATURE OVERRIDE ROUTINE FOR THE AHU TO START THE CHILLED WATER PLANT AND OPERATE THE AHU DURING UNOCCUPIED PERIODS WHEN SPACE TEMPERATURE SHALL BE RESET TO 54°F FOR THE TEMPERATURE OVERRIDE ROUTINE. SPACE TEMPERATURE SENSOR IS INDICATED ON PLANS. TEMPERATURE SHALL EXCEED SETPOINT FOR A MINIMUM OF 15 MINUTES.

CHILLED WATER COIL CONTROL

THE CHILLED WATER COOLING COIL 2-WAY NORMALLY CLOSED CHILLED WATER VALVE SHALL MODULATE TO MAINTAIN A COOLING COIL LEAVING AIR TEMPERATURE OF 52°F (ADJUSTABLE).

THE CHILLED WATER VALVE SHALL BE COMMANDED CLOSED IF THE AHU IS SCHEDULED "OFF" BY THE EMS. THE CHILLED WATER VALVE SHALL FAIL OPEN.

COIL LEAVING AIR TEMPERATURE SEASONAL RESET SCHEDULE - NOVEMBER THROUGH MARCH

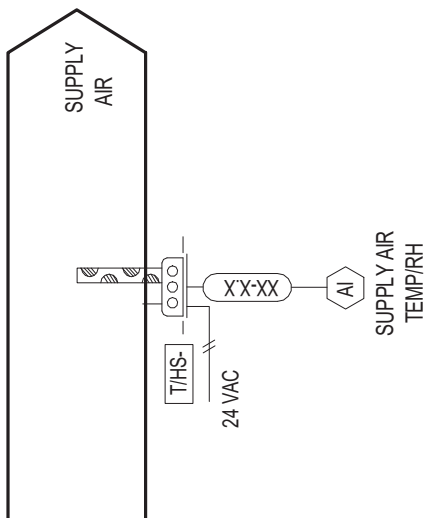
COOLING COIL LEAVING AIR TEMPERATURE SHALL BE RESET BASED ON OUTDOOR-AIR DRY-BULB AND DEW POINT TEMPERATURES ACCORDING TO THE FOLLOWING SCHEDULE (ADJUSTABLE) AT 60°F DB/52°F DP (ADJUSTABLE) AND BELOW. COIL LEAVING TEMPERATURE SHALL RAMP LINEARLY BETWEEN 54°F AND 64°F AT TEMPERATURES BETWEEN 64°F AND 70°F.

ZONE OVERCOOLING OVERRIDE

THE EMS SHALL POLL THE POSITION OF THE MULTIZONE AIR HANDLING UNITS' CHILLED WATER VALVE AND THE CLASSROOM TEMPERATURE SENSORS EVERY 10 MINUTES. IF OVERCOOLING, COOLING COIL LEAVING AIR TEMPERATURE SHALL BE RESET UP ONE DEGREE F WHEN THE COLDEST SPACE IS BELOW ITS COOLING SET POINT (OVERCOOLING). UNTIL THE SPACE HAS ACHIEVED ITS SET POINT AND IS NO LONGER BEING OVER COOLED. IF OVERCOOLING IS STILL OCCURRING WHEN THE COIL LEAVING AIR TEMPERATURE INCREMENTS (ADJUSTABLE) UNTIL ZONE OVERCOOLING NO LONGER OCCURS. ALTERNATELY, IF THE SPACE IS BEING UNDER COOLED FOR OVER 5 MINUTES, RESET TEMPERATURE TO SETPOINT.

ALARM MODE

THE SUPPLY FAN AND ASSOCIATED DAMPERS SHALL SHUT DOWN WHEN ANY AUTOMATIC OR MANUAL FIRE ALARM DEVICE IS PLACED INTO ALARM BY THE BUILDING FIRE ALARM SYSTEM. UPON RECEIVING A FIRE ALARM SIGNAL, THE EMS SYSTEM SHALL AUTOMATICALLY RESUME SCHEDULED OPERATION OF THE AIR HANDLING UNIT AND DAMPERS.



PROVIDE EMS DISPLAY AND ALARMS FOR:

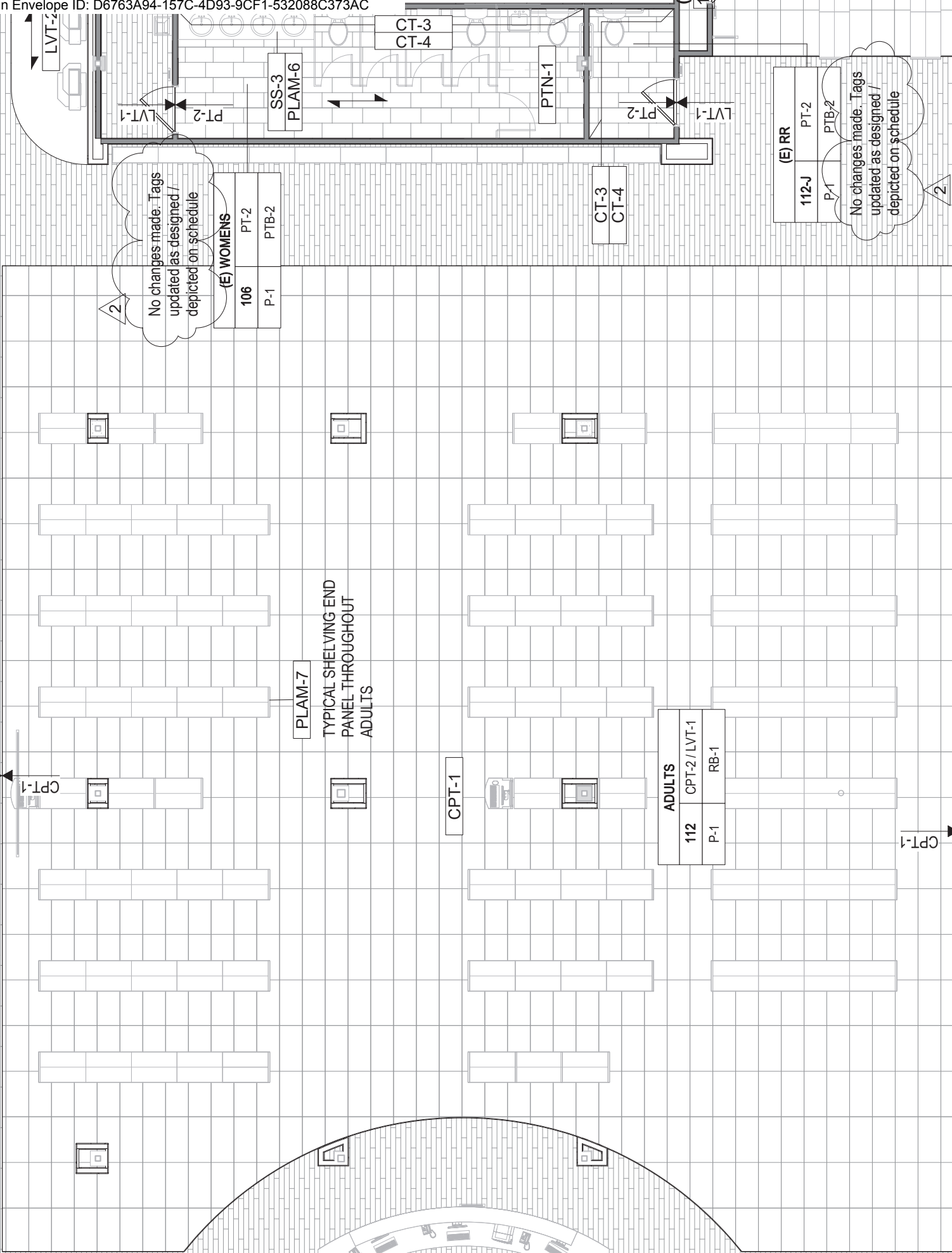
- SUPPLY FAN START/STOP
- SUPPLY FAN STATUS - CURRENT SENSOR
- COOLING COIL ENTERING AIR TEMPERATURE (FROM GLOBAL OA SENSOR)
- COOLING COIL ENTERING AIR HUMIDITY (FROM GLOBAL OA SENSOR)
- SUPPLY AIR TEMP (°F) AND SETPOINT
- CHILLED WATER VALVES POSITION (0-100%) - STATUS
- ELECTRIC DUCT HEATER (0-100%) - STATUS
- DIFFERENTIAL PRESSURE TRANSMITTER @ FILTER - STATUS
- O.A. AIR DAMPER
- SPACE TEMPERATURE
- SPACE HUMIDITY

11. GWB PARTITIONS TO BE RECEIVE PAINT FINISH AND RESILIENT BASE, UNO. O BUT NOT LIMITED TO, GWB IN ENCLOSED STORAGE ROOMS, MECHANICAL ELECTRICAL ROOMS, CLOSETS, EQUIPMENT NICHES, AND SIMILAR SUPPORT
12. PAINT FINISHING TO BE MINIMUM ONE COAT OF BASE PRIMER WITH TWO COAT PAINT. PRIMER COAT TO BE TINTED SIMILAR TO FINISH COAT COLOR. PROVIDE ADDITIONAL PRIMER COATS OR FINISH PAINT COATS TO FULLY CONCEAL STAIN FINISHES OR SUBSURFACES AND TO YIELD CONTINUOUS COVERAGE WITH MINOR BLEMISHES OR COLOR VARIATION. GWB SURFACES TO BE WIPE WITH A CLEAN DRY CLOTH PRIOR TO APPLICATION OF FIRST COAT OF PRIMER TO REMOVE DUST FROM SURFACES. FINISH SHEEN AT PARTITIONS TO BE EGGSHELL, UNO. FINISH SHEEN AT FRAMES, DOORS, RUNNING APPLIED TRIMS AND WALL BASE TO BE SEMI-GLOSS. FINISH SHEEN AT CEILINGS TO BE FLAT, UNO.
13. PROVIDE WATER-BASED EPOXY PAINT AT MOIST OR WET LOCATIONS, INCLUDING CLOSETS, TOILET ROOMS, KITCHENS, SERVERIES, FITNESS CENTER, LOCKER ROOMS, BREAK ROOMS, AND SIMILAR ENVIRONMENTS.
14. FLOOR FINISH TRANSITIONS BETWEEN ROOMS TO BE SEAMED AT CENTER LINE IN CLOSED POSITION, UNO. PROVIDE TRANSITION STRIPS, TRIMS, AND TRIMMINGS AT EACH MATERIAL INTERSECTION.

ACT	ACT	
ACT	ACT	
ACT	ACT	
ACT	ACT	
ACT	ACT	
ACT	ACT	
ACT	ACT	
ACT	ACT	WOOD CEILING
ACT	ACT	WOOD CEILING
ACT	ACT	
ACT	ACT	
ACT	ACT	
P-2	GWB	
P-2	GWB	
--	--	
--	--	Existing

Create Vision G0079 HYBRID 32808	--	Large Scale Field Carpet, Install: Monolithic	Alison Shaw alison.shaw@tarkett.com
71620 COOL WATER	--	Install: Quarter Turn	Alison Shaw alison.shaw@tarkett.com
23400 Laszlo / Makerspace Tile	--	Install: Ashlar	Paul Cleveland paul.cleveland@shawcontract.com
FWK Midnight	--	Install: Monolithic	Hank Israel hank.israel@milliken.com
02578 Winter Grey 19103	--	Install: Monolithic	Alison Shaw alison.shaw@tarkett.com
--	--		--
Oyster / Sheer Weave 2500	--	2% Openness Final color to be determined with submittal	
5788 Hazel Walnut	--	Install pattern vertically	Muriel Holy muriel.holy@formica.com
4991 Pressed Linen	--		Teresa Finch fincht@wilsonart.com
914-58 Marine Blue	Matte		Muriel Holy muriel.holy@formica.com
Plain Pearl Green 16690-1515	Gloss	Install: Stack	Kimberly Beyerlin kbeyerlein@stonesource.com
Brilliant Blue 18910	Gloss	Install: Stack	Kimberly Beyerlin kbeyerlein@stonesource.com
Ghost	Gloss	Install: Vertical Stack	Annette Gabreicik 727-808-5131 agabreicik@crossvillestudios.com
Teal	UPS	Install: Vertical Stack	Annette Gabreicik 727-808-5131 agabreicik@crossvillestudios.com
523 Black Brown / Cetera	--		Hope Gough hope.gough@mannington.com 813.716.9222
Recon Tuscan QC AA5615CHI	--		Jenn Scheffer jenn.scheffer@koroseal.com
SW7570 Egret White	Eggshell		Fred Lauro fred.lauro@sherwin.com
SW7570 Egret White	Matte		Fred Lauro fred.lauro@sherwin.com
SW9051 Aquaverde	Matte		Fred Lauro fred.lauro@sherwin.com
SW7020 Black Fox	Gloss	To match RB-1	Fred Lauro fred.lauro@sherwin.com
SW9051 Aquaverde	Eggshell		Fred Lauro fred.lauro@sherwin.com
SW6663 Saffron Thread	Eggshell		Fred Lauro fred.lauro@sherwin.com
SW9142 Moscow Midnight	Eggshell		Fred Lauro fred.lauro@sherwin.com

P-1	RB-1
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No changes made. Tags updated as designed / depicted on schedule

(E) WOMENS
106
PT-2
PTB-2
P-1

No changes made. Tags updated as designed / depicted on schedule

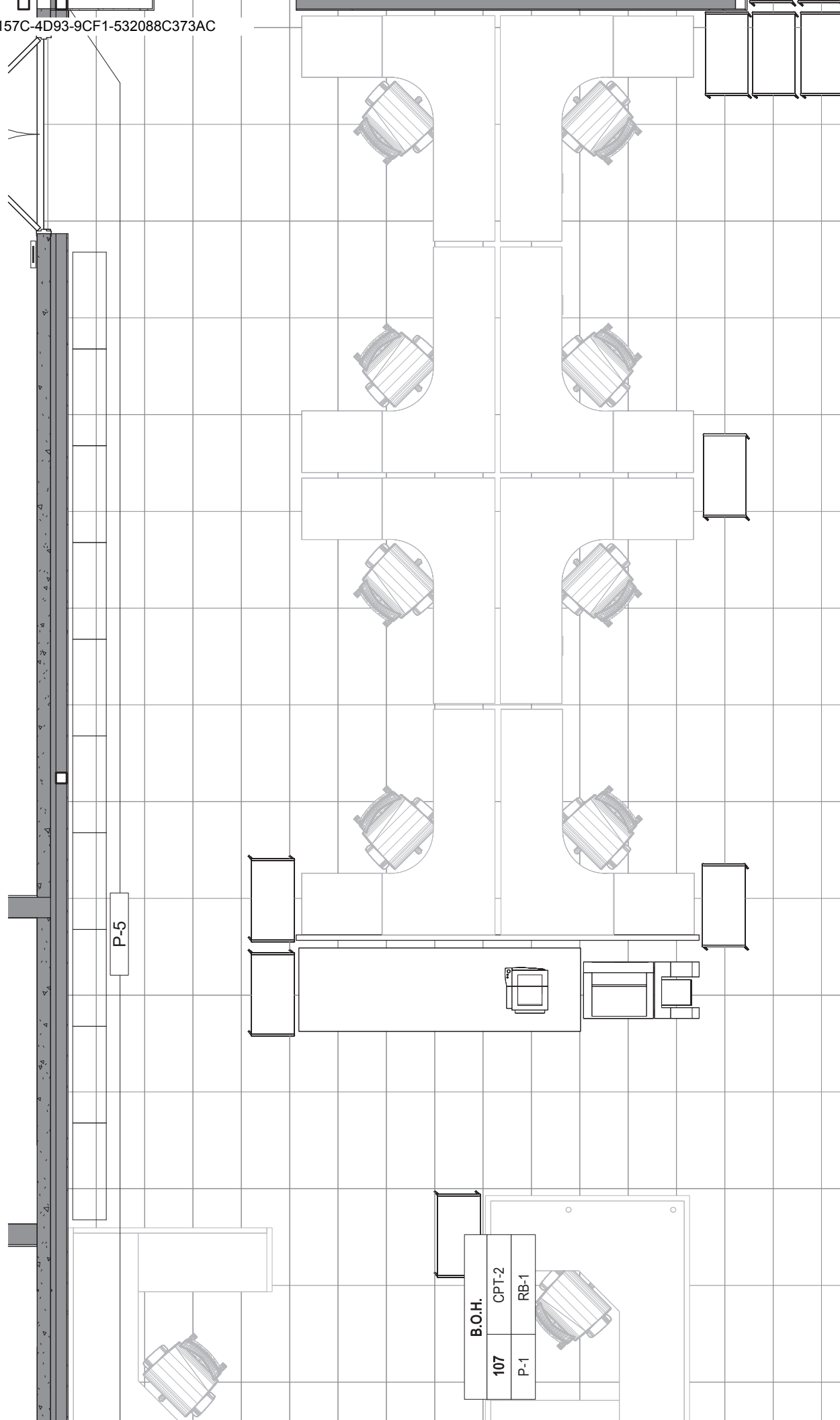
(E) RR
112-J
PT-2
P-1
PTB-2

PLAM-7
TYPICAL SHELVING END
PANEL THROUGHOUT
ADULTS

ADULTS
112
CPT-2 / LVT-1
P-1
RB-1

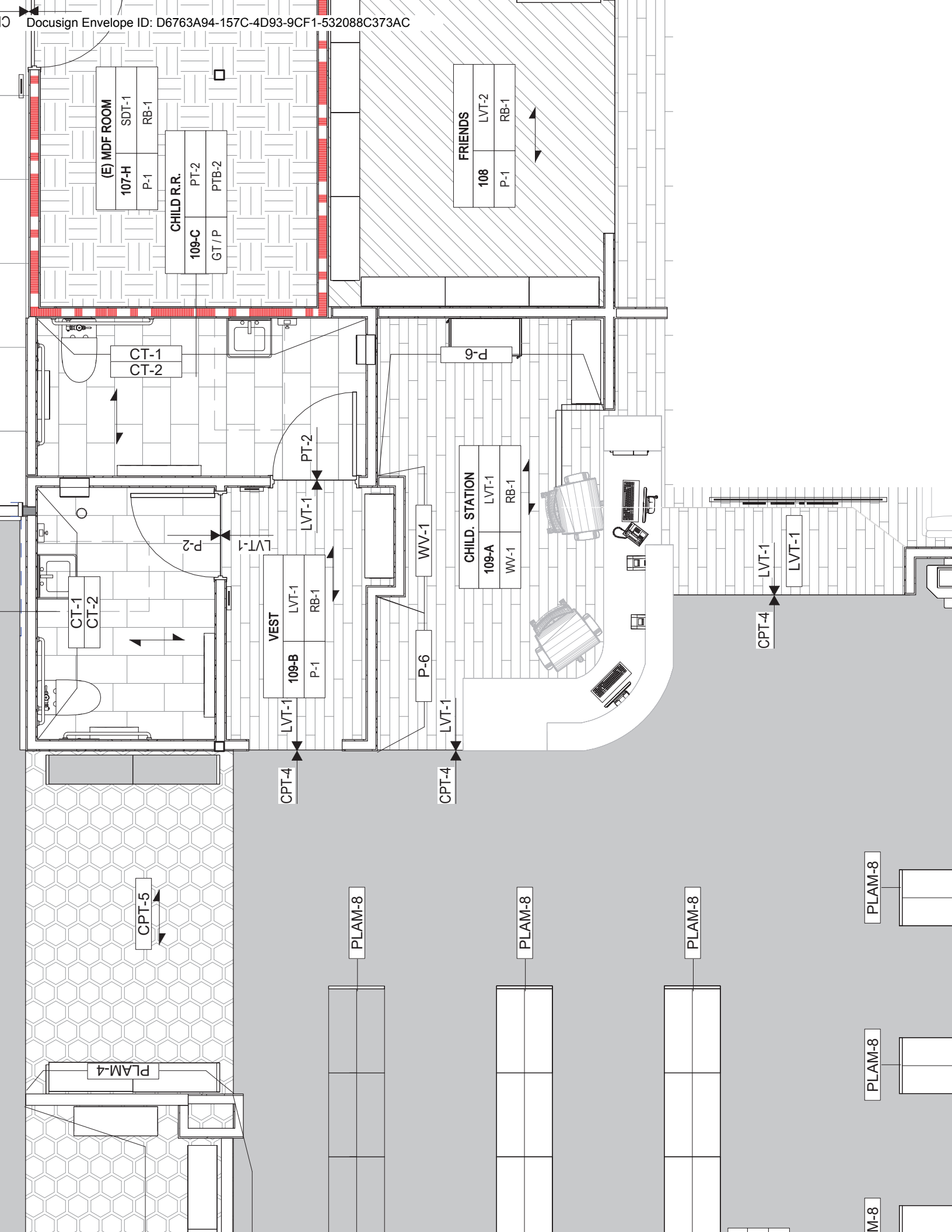
CPT-1

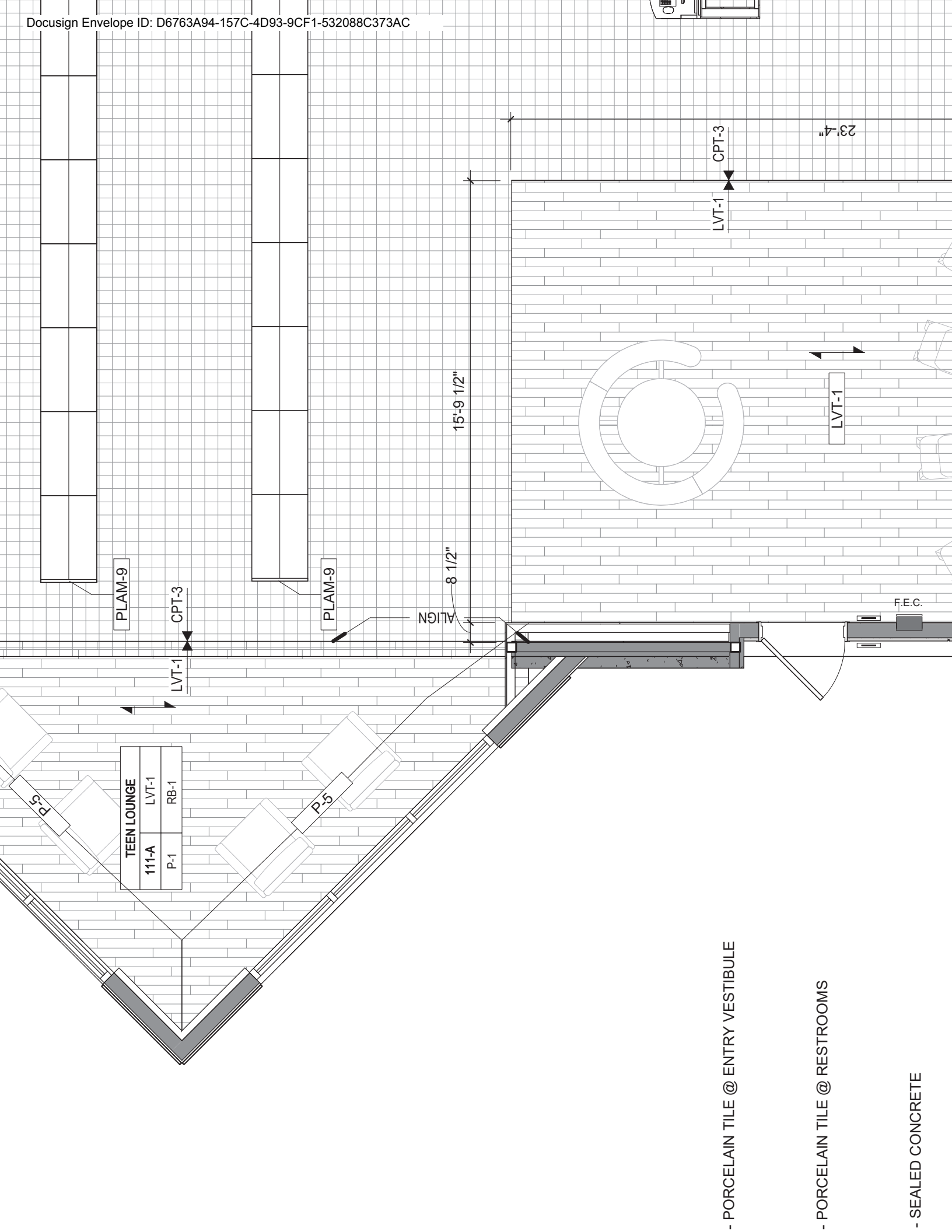
CPT-1



P-5

B.O.H.
107
P-1
CPT-2
RB-1



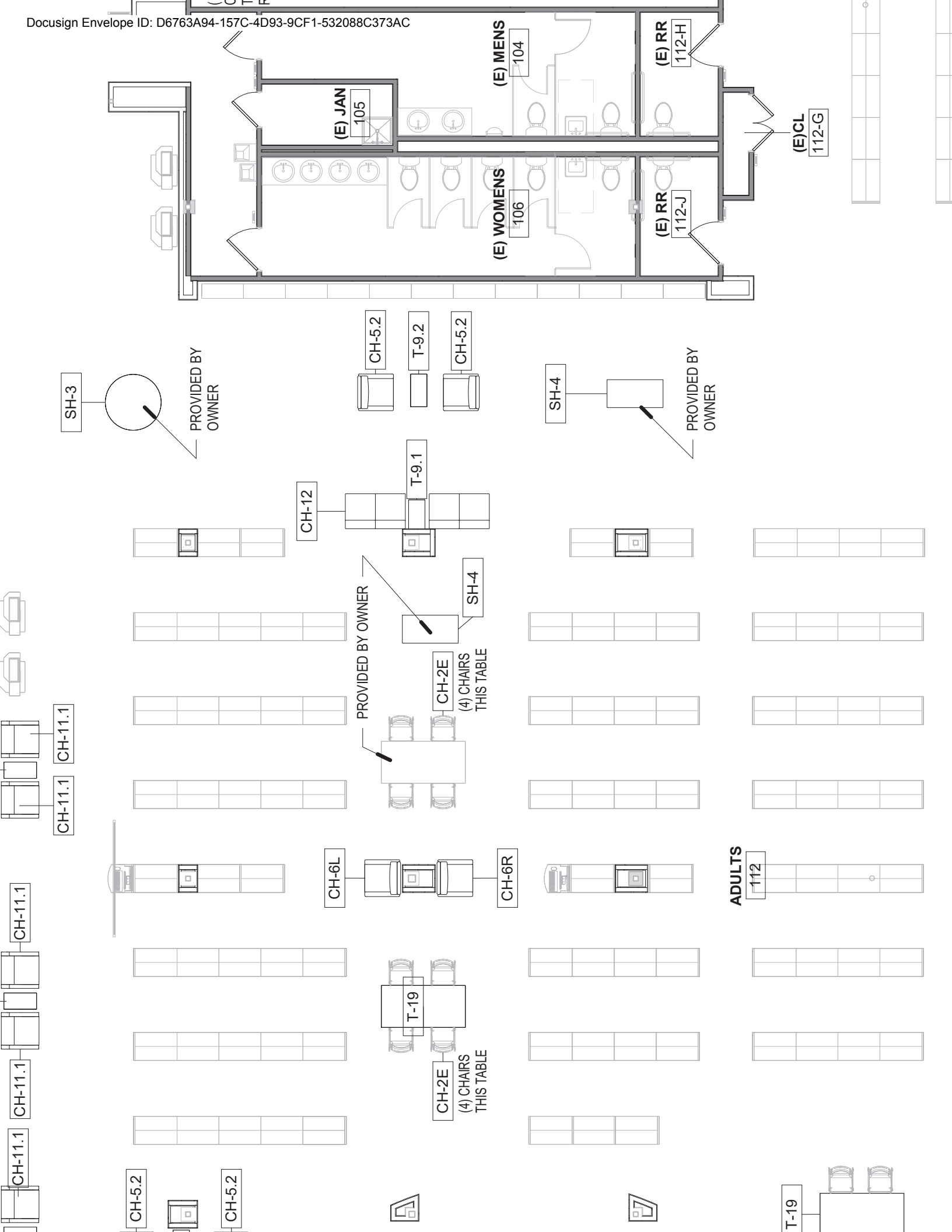


TEEN LOUNGE		
111-A	LVT-1	
P-1	RB-1	

- PORCELAIN TILE @ ENTRY VESTIBULE

- PORCELAIN TILE @ RESTROOMS

- SEALED CONCRETE



SH-3
PROVIDED BY OWNER

CH-5.2
T-9.2
CH-5.2

SH-4
PROVIDED BY OWNER

CH-12

T-9.1

PROVIDED BY OWNER
SH-4
CH-2E
(4) CHAIRS
THIS TABLE

CH-11.1
CH-11.1

CH-6L

CH-6R

ADULTS
112

CH-11.1

CH-11.1

CH-11.1

CH-5.2

CH-5.2

T-19

CH-2E
(4) CHAIRS
THIS TABLE

T-19

T-13	Hospitality Credenza	The HON Company	Preside / HTLCRED72 HTLCRED72 Preside / HTLCRED7	1
T-14.1	Computer Table	KI, Inc.	Connection Zone	10
T-14.2	Computer Table	KI, Inc.	Connection Zone	18
T-15	Table	National Office Furniture	Waveworks	4
T-16	Table	Herman Miller, Inc.	Everywhere Table Top and Base /DT1AS3072L	1
T-17.1	Table	Herman Miller, Inc.	Everywhere Table Top and Base /DT1AS1872LP & DT2A.30PZMS	1
T-17.2	Table	Herman Miller, Inc.	Everywhere Table Top and Base /DT1AS1872LP & DT2A.30PZMS	1
T-18	Table	Herman Miller, Inc.	Everywhere Table Top and Base T-leg with caster No Grommets	4
T-19	Table	Allsteel	Everywhere Table Top and Base/ DT1AS3672LP	9
WS-1	Workstation	Herman Miller, Inc.	ACTION OFFICE SYSTEM-AO2	10
WS-2	Workstation	Herman Miller, Inc.	ACTION OFFICE SYSTEM-AO2	5
WS-3	Workstation	Herman Miller, Inc.	10500 Series	4
WS-4	Workstation	Herman Miller, Inc.	ACTION OFFICE SYSTEM-AO2	3

Surface

ene.

wood with glued solid hardwood cross members reinforced with seat polyurethane foam with Dacron® wrap. Back has sinuous

wood with glued solid hardwood cross members reinforced with seat polyurethane foam with Dacron® wrap. Back has sinuous

ganged

ganged

CA TV	TRACK WITH TRACK LIGHT FIXTURE (TRIANGLES INDICATE QUANTITY OF TRACK HEADS)	CABLE TELEVISION
CCTV		CLOSED CIRCUIT TELEVISION
CLEC	EMERGENCY TWIN-HEAD LIGHT WITH INTEGRAL BATTERY PACK, WALL MOUNTED	CLOCK EQUIPMENT CABINET
CLG	LINEAR RECESSED, PENDANT OR SURFACE CEILING	CEILING
CO		CONDUIT OR RACEWAY ONLY
COAX		COAXIAL CABLE
COND		CONDUCTOR
CONN		CONNECTION
CPU	EXTERIOR POLE-MOUNTED AREA LIGHT FIXTURE, ARMS AS INDICATED ON DRAWINGS	CENTRAL PROCESSING UNIT
CRT	EXTERIOR PEDESTRIAN SIDEWALK BOLLARD OR POST-TOP LIGHT FIXTURE	CATHODE RAY TERMINAL (CRT)
CT	EXIT LIGHT, CEILING OR PENDANT MOUNTED; DIRECTIONAL ARROWS AS INDICATED; SHADED QUADRANT INDICATES FACE(S) OF FIXTURE	CURRENT TRANSFORMER
CU		COPPER
CW		COLD WATER
DC	EXIT LIGHT, WALL MOUNTED	DIRECT CURRENT
DDC		DIRECT DIGITAL CONTROL
DEG		DEGREE
DF		DEMAND FACTOR
DISC		DISCONNECT
DISC SW		DISCONNECT SWITCH
DO		DRAW OUT
DN		DOWN
DPST		DOUBLE POLE SINGLE THROW
EDH		ELECTRIC DUCT HEATER
EMT		ELECTRIC METALLIC TUBING
EO		ELECTRICALLY OPERATED
EOL		END OF LINE
EOR		ENGINEER OF RECORD
ETR		EXISTING TO REMAIN
EWC		ELECTRIC WATER COOLER
FA		FIRE ALARM
FAAP		FIRE ALARM ANNUNCIATOR PANEL
FATC		FIRE ALARM TERMINAL CABINET
FBC		FLORIDA BUILDING CODE
FCU		FAN COIL UNIT
FLA		FULL LOAD AMPERES
FM		FACTORY MUTUAL
FPU		FAN POWERED UNIT
FT		FEET
GF		GROUND FAULT
GFA		GROUND FAULT ALARM
GFCI		GROUND FAULT CIRCUIT INTERRUPTER
GFR		GROUND FAULT RELAY
GND, G		GROUND
HP		HORSEPOWER
HOA		HAND-OFF-AUTOMATIC
HORIZ		HORIZONTAL
IBC		INTERNATIONAL BUILDING CODE
IC		INTERCOM
ICU		INTENSIVE CARE UNIT
IECC		INTERNATIONAL ENERGY CONSERVATION CODE

TRACK WITH TRACK LIGHT FIXTURE (TRIANGLES INDICATE QUANTITY OF TRACK HEADS)	
EMERGENCY TWIN-HEAD LIGHT WITH INTEGRAL BATTERY PACK, WALL MOUNTED	
LINEAR RECESSED, PENDANT OR SURFACE CEILING	
EXTERIOR POLE-MOUNTED AREA LIGHT FIXTURE, ARMS AS INDICATED ON DRAWINGS	
EXTERIOR PEDESTRIAN SIDEWALK BOLLARD OR POST-TOP LIGHT FIXTURE	
EXIT LIGHT, CEILING OR PENDANT MOUNTED; DIRECTIONAL ARROWS AS INDICATED; SHADED QUADRANT INDICATES FACE(S) OF FIXTURE	
EXIT LIGHT, WALL MOUNTED	

CONTROL PANEL	
TRANSFER SWITCH	
ENCLOSURE, NEMA 1 UNLESS OTHERWISE NOTED	
DISCONNECT SWITCH, RATING AS NOTED	
FUSED	
AMPERE RATING OF SWITCH	
ENCLOSURE, NEMA 4X STAINLESS STEEL	
ENCLOSURE, NEMA 1 UNLESS OTHERWISE NOTED	
DISCONNECT	
AMPERE RATING OF FUSE	
AMPERE RATING OF SWITCH	
ENCLOSURE, NEMA 4X STAINLESS STEEL	
ENCLOSURE, NEMA 1 UNLESS OTHERWISE NOTED	
MAGNETIC MOTOR STARTER, SIZE AS NOTED, 3-POLE UNLESS OTHERWISE NOTED	
ENCLOSURE, NEMA 4X STAINLESS STEEL	
ENCLOSURE, NEMA 1 UNLESS OTHERWISE NOTED	
SWITCHGEAR/DISTRIBUTION PANEL	
UNIT PANELBOARD, OVER 240 VOLTS, SURFACE MOUNTED	
UNIT PANELBOARD, OVER 240 VOLTS, FLUSH MOUNTED	
UNIT PANELBOARD, UNDER 240 VOLTS, SURFACE MOUNTED	
UNIT PANELBOARD, UNDER 240 VOLTS, FLUSH MOUNTED	
SEEALED ABOVE CEILING OR IN WALL	
USED	
SEEALED IN SLAB, UNDERGROUND OR UNDER FLOOR	
RUN TO ELECTRICAL PANEL	
RUNNING UP	
RUNNING DOWN	
RUNNING OUT OR UP	
RUNNING DOWN	
UNIT	

8. PROVIDE SURGE PROTECTION DEVICE FOR ALL MAIN SERVICE EQUIPMENT, PANELBOARDS SERVING SENSITIVE ELECTRONIC EQUIPMENT (DATA RACKS) OR COMPUTERS, EMERGENCY SWITCHBOARDS AND PANELBOARDS, LIGHTING PANELS SERVING EXTERIOR LIGHTING, POWER CIRCUITS OR LOW VOLTAGE (FIRE ALARM, TELECOMMUNICATIONS) EXITING THE BUILDING. PROVIDE MINIMUM 30A/3P BREAKER IN BRANCH CIRCUIT PANELBOARDS AND 60A/3P IN DISTRIBUTION PANELBOARDS OR SWITCHBOARDS, UNLESS NOTED OTHERWISE, OR PER THE SPD MANUFACTURER'S RECOMMENDATIONS FOR SURGE PROTECTION DEVICE.

9. PROVIDE ARC ENERGY REDUCING MAINTENANCE SWITCH FOR ANY BREAKER RATED (OR ABLE TO BE ADJUSTED TO) 1200A OR HIGHER UNLESS OTHER ARC ENERGY REDUCTION MEANS MEETING NEC 240.87 IS INDICATED ON DRAWINGS/SPECIFICATIONS OR OTHERWISE PROVIDED.

ELECTRICAL DEVICES OUTLET BOXES, JUNCTION BOXES

1. LIGHT SWITCHES SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR TO CENTER LINE OF DEVICE, UNLESS NOTED OTHERWISE.
2. RECEPTACLES, VOICEDATA OUTLETS AND WALL FURNITURE FEEDS SHALL BE MOUNTED 18 INCHES ABOVE FINISHED FLOOR TO CENTER LINE OF DEVICE, UNLESS NOTED OTHERWISE. ABOVE COUNTER RECEPTACLES SHALL BE MOUNTED 6" ABOVE BACK SPLASH TO CENTERLINE OF DEVICE, UNLESS NOTED OTHERWISE.
3. IT IS THE INTENT THAT ALL DEVICE OUTLET BOXES (POWER AND SYSTEMS) BE FLUSH MOUNTED IN WALLS, CEILINGS OR FLOORS, AND JUNCTION BOXES FLUSH MOUNTED IN WALLS, CEILINGS, OR FLOORS, OR CONCEALED ABOVE ACCESSIBLE CEILINGS, AND NOT SURFACE MOUNTED, UNLESS SPECIFICALLY NOTED ON THE CONTRACT DRAWINGS, OR UNLESS THE ARCHITECT/ENGINEER GRANTS WRITTEN PERMISSION.
4. ALL COMPONENTS OF THE ELECTRICAL SYSTEM (INCLUDE RACEWAYS, ELECTRICAL EQUIPMENT, OUTLET BOXES, JUNCTION BOXES, ETC.), LOCATED IN A HAZARDOUS (CLASSIFIED) LOCATION SHALL BE APPROVED FOR USE IN SAID LOCATION, AS DEFINED BY THE NEC, WHETHER INDICATED ON THE CONTRACT DOCUMENTS OR NOT.
5. ALL DEVICES SHALL BE MOUNTED VERTICALLY, UNLESS NOTED OTHERWISE.
6. ALL RECEPTACLES SHALL BE MOUNTED SUCH THAT THE GROUND PIN IS MOUNTED UP.
7. WHERE DEVICES ARE SHOWN IN WALLS BACK-TO-BACK ON OPPOSITE SIDES, INSTALL SO THAT THEY ARE SEPARATED BY AT LEAST 12".
8. RECEPTACLES OR JUNCTION BOXES FOR ELECTRIC WATER COOLERS AND VENDING MACHINES SHALL BE LOCATED DIRECTLY BEHIND SAID APPLIANCE, CONCEALED FROM DIRECT VIEW. RECEPTACLES AND/OR HARD WIRED EQUIPMENT CONNECTIONS SHALL BE PROTECTED BY A READILY ACCESSIBLE GFCI FEED-THRU DEVICE LOCATED IMMEDIATELY ADJACENT TO THE APPLIANCE OR BE PROTECTED BY GFCI BREAKER IN THE PANELBOARD. ALL GFCI DEVICES MUST BE READILY ACCESSIBLE PER THE NEC.
9. ALL EXTERIOR RECEPTACLES OR RECEPTACLES LOCATED IN AREAS SUBJECT TO MOISTURE (PARKING GARAGE, WASHDOWN AREAS IN KITCHEN, ETC) SHALL BE GFCI TYPE. ALL EXTERIOR RECEPTACLES SHALL BE PROVIDED WITH CAST METAL, IN-USE COVER UNLESS NOTED OTHERWISE.
10. ALL RECEPTACLES LOCATED IN KITCHENS, BATHROOMS, MECHANICAL ROOMS, JANITOR CLOSETS, ELEVATOR SHAFTS, ELEVATOR EQUIPMENT ROOMS, FOR ELEVATOR SUMP PUMP(S) OR INSTALLED WITHIN 6' OF THE INSIDE FACE OF A SINK, SHALL BE GFCI TYPE OR GFCI PROTECTED.
11. ALL RECEPTACLES LOCATED IN CHILD-CARE FACILITIES, DWELLING UNITS, HOTEL/MOTEL GUEST ROOMS, PEDIATRIC CLINICS OR PEDIATRIC CARE AREAS, AND OTHER AREAS AS REQUIRED BY NEC AND LOCAL CODE REQUIREMENTS SHALL BE TAMPER RESISTANT.
12. WHEN ELECTRICAL BOXES ARE LOCATED IN VERTICAL FIRE-RESISTIVE ASSEMBLIES, THEY SHALL BE INSTALLED WITHOUT AFFECTING THE FIRE CLASSIFICATION. ALL OF THE FOLLOWING CONDITIONS SHALL BE MET:
 - A. ALL ELECTRICAL BOXES SHALL BE METALLIC.
 - B. BOX OPENING SHALL OCCUR ONLY ON ONE SIDE OF FRAMING SPACE.
 - C. BOX OPENING SHALL NOT EXCEED 16 SQUARE INCHES.
 - D. ALL CLEARANCES BETWEEN OUTLET BOX AND GYPSUM BOARD SHALL BE COMPLETELY FILLED WITH JOINT COMPOUND (OR OTHER APPROVED MATERIAL).
 - E. PROVIDE A WALL AROUND OUTLETS LARGER THAN 16 SQUARE INCHES. THE INTEGRITY OF THE WALL RATING SHALL BE MAINTAINED.
 - F. THE TOTAL AGGREGATE SURFACE AREA OF THE BOXES SHALL NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET.
 - G. OUTLET BOXES LOCATED ON OPPOSITE SIDES OF FIRE RESISTIVE ASSEMBLIES SHALL BE SEPARATED BY A MINIMUM HORIZONTAL DISTANCE OF 24 INCHES.
 - H. OUTLET BOXES SHALL BE SECURELY FASTENED TO WALL FRAMING MEMBERS.
 - I. THE OPENING IN THE GYPSUM BOARD FACING SHALL BE CUT NOT TO EXCEED 1/8 INCH BETWEEN THE EDGES OF THE

8. PROVIDE SURGE PROTECTION DEVICE FOR ALL MAIN SERVICE EQUIPMENT, PANELBOARDS SERVING SENSITIVE ELECTRONIC EQUIPMENT (DATA RACKS) OR COMPUTERS, EMERGENCY SWITCHBOARDS AND PANELBOARDS, LIGHTING PANELS SERVING EXTERIOR LIGHTING, POWER CIRCUITS OR LOW VOLTAGE (FIRE ALARM, TELECOMMUNICATIONS) EXITING THE BUILDING. PROVIDE MINIMUM 30A/3P BREAKER IN BRANCH CIRCUIT PANELBOARDS AND 60A/3P IN DISTRIBUTION PANELBOARDS OR SWITCHBOARDS, UNLESS NOTED OTHERWISE, OR PER THE SPD MANUFACTURER'S RECOMMENDATIONS FOR SURGE PROTECTION DEVICE.

9. PROVIDE ARC ENERGY REDUCING MAINTENANCE SWITCH FOR ANY BREAKER RATED (OR ABLE TO BE ADJUSTED TO) 1200A OR HIGHER UNLESS OTHER ARC ENERGY REDUCTION MEANS MEETING NEC 240.87 IS INDICATED ON DRAWINGS/SPECIFICATIONS OR OTHERWISE PROVIDED.

LIGHTING:

1. LIGHT FIXTURES SUPPORTED BY CEILING GRID SHALL BE SUPPORTED AS FOLLOWS:
 - 10 POUNDS SHALL HAVE 12-GAUGE HANGER WIRE CONNECTED FROM THE LIGHT FIXTURES WEIGHING 10 POUNDS OR MORE SHALL HAVE (2) 12-GAUGE HANGER WIRE TO THE LIGHT FIXTURE TO THE STRUCTURE ABOVE.
 - COORDINATE EXACT LOCATIONS OF LIGHT FIXTURES IN LAY-IN AND GYPBOARD V-C EILING PLANS, AND WALL MOUNTED EXTERIOR AND INTERIOR LIGHT FIXTURES V-C INSTALLATION. WHERE THE QUANTITY OF LIGHTS DIFFERS BETWEEN THE ARCHITECT LIGHTING PLANS, PROVIDE THE HIGHEST QUANTITY OF FIXTURES IN THE BID PRIOR TO BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. THE HIGHEST QUANTITY ROOM OR AREA LIGHTING CIRCUITS AND LIGHTING CONTROL DEVICES, UNLESS C O R ARCHITECT/ENGINEER.
3. VERIFY ACTUAL CEILING CONSTRUCTION TYPE AS DEFINED ON THE ARCHITECTURAL PLANS WITH THE CORRECT MOUNTING DEVICES WHETHER OR NOT SUCH V-C VAF FIXTURE CATALOG NUMBER. VERIFY THE DEPTH OF ALL RECESSED LIGHT FIXTURE PRIOR TO ORDERING LIGHT FIXTURES. ANY DISCREPANCIES THAT WOULD CAUSE INTO CEILING SHALL BE REPORTED TO ARCHITECT/ENGINEER PRIOR TO ORDERING LIGHT FIXTURES RECESSED IN FIRE-RATED CEILINGS SHALL BE PROVIDED WITH A FIRE RATING EQUAL TO THAT OF THE CEILING. PROVIDE A MINIMUM OF 3" CLEARANCE LIGHT FIXTURES.
5. MODIFY ALL LIGHT FIXTURE CATALOG NUMBERS AS REQUIRED TO COORDINATE VOLTAGES INDICATED. COORDINATE THE CATALOG NUMBERS WITH THE EXACT VOLTAGE THE CEILING IN WHICH EACH FIXTURE IS BEING INSTALLED.
6. ALL LIGHT FIXTURES SHALL BE PROVIDED COMPLETE WITH LAMPS, UNLESS OTHERWISE INDICATED. LIGHT FIXTURES INDICATED WITH UNSWITCHED CIRCUIT (NIGHT FIXTURES WITH INTEGRAL BATTERY PACKS, AND BATTERY PACKS INTEGRAL TO LIGHTING OR LIGHTING CONTROLS.
8. PROVIDE UL WET LABEL OR IP67 RATED LIGHT FIXTURES FOR ALL FIXTURES LOCATED IN SHOWERS, OR OPEN STRUCTURES.

8. PROVIDE SURGE PROTECTION DEVICE FOR ALL MAIN SERVICE EQUIPMENT, PANELBOARDS SERVING SENSITIVE ELECTRONIC EQUIPMENT (DATA RACKS) OR COMPUTERS, EMERGENCY SWITCHBOARDS AND PANELBOARDS, LIGHTING PANELS SERVING EXTERIOR LIGHTING, POWER CIRCUITS OR LOW VOLTAGE (FIRE ALARM, TELECOMMUNICATIONS) EXITING THE BUILDING. PROVIDE MINIMUM 30A/3P BREAKER IN BRANCH CIRCUIT PANELBOARDS AND 60A/3P IN DISTRIBUTION PANELBOARDS OR SWITCHBOARDS, UNLESS NOTED OTHERWISE, OR PER THE SPD MANUFACTURER'S RECOMMENDATIONS FOR SURGE PROTECTION DEVICE.

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10. ALL RECEPTACLES LOCATED IN KITCHENS, BATHROOMS, MECHANICAL ROOMS, JANITOR CLOSETS, ELEVATOR SHAFTS, ELEVATOR EQUIPMENT ROOMS, FOR ELEVATOR SUMP PUMP(S) OR INSTALLED WITHIN 6' OF THE INSIDE FACE OF A SINK, SHALL BE GFCI TYPE OR GFCI PROTECTED.
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9. PROVIDE ARC ENERGY REDUCING MAINTENANCE SWITCH FOR ANY BREAKER RATED (OR ABLE TO BE ADJUSTED TO) 1200A OR HIGHER UNLESS OTHER ARC ENERGY REDUCTION MEANS MEETING NEC 240.87 IS INDICATED ON DRAWINGS/SPECIFICATIONS OR OTHERWISE PROVIDED.

LIGHTING:

1. LIGHT FIXTURES SUPPORTED BY CEILING GRID SHALL BE SUPPORTED AS FOLLOWS:
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 - COORDINATE EXACT LOCATIONS OF LIGHT FIXTURES IN LAY-IN AND GYPBOARD V-C EILING PLANS, AND WALL MOUNTED EXTERIOR AND INTERIOR LIGHT FIXTURES V-C INSTALLATION. WHERE THE QUANTITY OF LIGHTS DIFFERS BETWEEN THE ARCHITECT LIGHTING PLANS, PROVIDE THE HIGHEST QUANTITY OF FIXTURES IN THE BID PRIOR TO BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. THE HIGHEST QUANTITY ROOM OR AREA LIGHTING CIRCUITS AND LIGHTING CONTROL DEVICES, UNLESS C O R ARCHITECT/ENGINEER.
3. VERIFY ACTUAL CEILING CONSTRUCTION TYPE AS DEFINED ON THE ARCHITECTURAL PLANS WITH THE CORRECT MOUNTING DEVICES WHETHER OR NOT SUCH VAF FIXTURE CATALOG NUMBER. VERIFY THE DEPTH OF ALL RECESSED LIGHT FIXTURE PRIOR TO ORDERING LIGHT FIXTURES. ANY DISCREPANCIES THAT WOULD CAUSE INTO CEILING SHALL BE REPORTED TO ARCHITECT/ENGINEER PRIOR TO ORDERING LIGHT FIXTURES RECESSED IN FIRE-RATED CEILINGS SHALL BE PROVIDED WITH A FIRE RATING EQUAL TO THAT OF THE CEILING. PROVIDE A MINIMUM OF 3" CLEARANCE LIGHT FIXTURES.
5. MODIFY ALL LIGHT FIXTURE CATALOG NUMBERS AS REQUIRED TO COORDINATE VOLTAGES INDICATED. COORDINATE THE CATALOG NUMBERS WITH THE EXACT VOLTAGE THE CEILING IN WHICH EACH FIXTURE IS BEING INSTALLED.
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9. PROVIDE ARC ENERGY REDUCING MAINTENANCE SWITCH FOR ANY BREAKER RATED (OR ABLE TO BE ADJUSTED TO) 1200A OR HIGHER UNLESS OTHER ARC ENERGY REDUCTION MEANS MEETING NEC 240.87 IS INDICATED ON DRAWINGS/SPECIFICATIONS OR OTHERWISE PROVIDED.

ELECTRICAL DEVICES OUTLET BOXES, JUNCTION BOXES

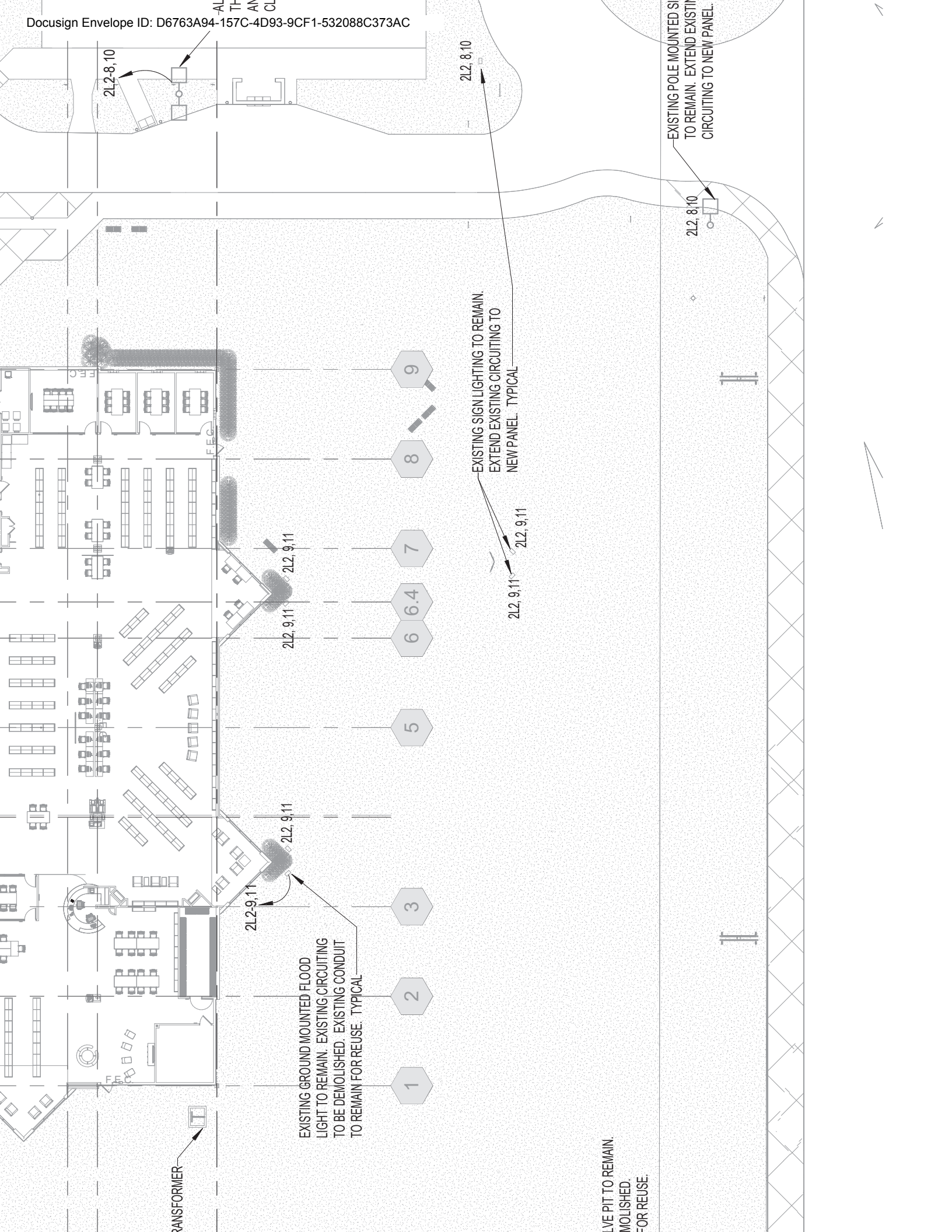
1. LIGHT SWITCHES SHALL BE MOUNTED 48 INCHES ABOVE FINISHED FLOOR TO CENTER LINE OF DEVICE, UNLESS NOTED OTHERWISE.
2. RECEPTACLES, VOICEDATA OUTLETS AND WALL FURNITURE FEEDS SHALL BE MOUNTED 18 INCHES ABOVE FINISHED FLOOR TO CENTER LINE OF DEVICE, UNLESS NOTED OTHERWISE. ABOVE COUNTER RECEPTACLES SHALL BE MOUNTED 6" ABOVE BACK SPLASH TO CENTERLINE OF DEVICE, UNLESS NOTED OTHERWISE.
3. IT IS THE INTENT THAT ALL DEVICE OUTLET BOXES (POWER AND SYSTEMS) BE FLUSH MOUNTED IN WALLS, CEILINGS OR FLOORS, AND JUNCTION BOXES FLUSH MOUNTED IN WALLS, CEILINGS, OR FLOORS, OR CONCEALED ABOVE ACCESSIBLE CEILINGS, AND NOT SURFACE MOUNTED, UNLESS SPECIFICALLY NOTED ON THE CONTRACT DRAWINGS, OR UNLESS THE ARCHITECT/ENGINEER GRANTS WRITTEN PERMISSION.
4. ALL COMPONENTS OF THE ELECTRICAL SYSTEM (INCLUDE RACEWAYS, ELECTRICAL EQUIPMENT, OUTLET BOXES, JUNCTION BOXES, ETC.), LOCATED IN A HAZARDOUS (CLASSIFIED) LOCATION SHALL BE APPROVED FOR USE IN SAID LOCATION, AS DEFINED BY THE NEC, WHETHER INDICATED ON THE CONTRACT DOCUMENTS OR NOT.
5. ALL DEVICES SHALL BE MOUNTED VERTICALLY, UNLESS NOTED OTHERWISE.
6. ALL RECEPTACLES SHALL BE MOUNTED SUCH THAT THE GROUND PIN IS MOUNTED UP.
7. WHERE DEVICES ARE SHOWN IN WALLS BACK-TO-BACK ON OPPOSITE SIDES, INSTALL SO THAT THEY ARE SEPARATED BY AT LEAST 12".
8. RECEPTACLES OR JUNCTION BOXES FOR ELECTRIC WATER COOLERS AND VENDING MACHINES SHALL BE LOCATED DIRECTLY BEHIND SAID APPLIANCE, CONCEALED FROM DIRECT VIEW. RECEPTACLES AND/OR HARD WIRED EQUIPMENT CONNECTIONS SHALL BE PROTECTED BY A READILY ACCESSIBLE GFCI FEED-THRU DEVICE LOCATED IMMEDIATELY ADJACENT TO THE APPLIANCE OR BE PROTECTED BY GFCI BREAKER IN THE PANELBOARD. ALL GFCI DEVICES MUST BE READILY ACCESSIBLE PER THE NEC.
9. ALL EXTERIOR RECEPTACLES OR RECEPTACLES LOCATED IN AREAS SUBJECT TO MOISTURE (PARKING GARAGE, WASHDOWN AREAS IN KITCHEN, ETC) SHALL BE GFCI TYPE. ALL EXTERIOR RECEPTACLES SHALL BE PROVIDED WITH CAST METAL, IN-USE COVER UNLESS NOTED OTHERWISE.
10. ALL RECEPTACLES LOCATED IN KITCHENS, BATHROOMS, MECHANICAL ROOMS, JANITOR CLOSETS, ELEVATOR SHAFTS, ELEVATOR EQUIPMENT ROOMS, FOR ELEVATOR SUMP PUMP(S) OR INSTALLED WITHIN 6' OF THE INSIDE FACE OF A SINK, SHALL BE GFCI TYPE OR GFCI PROTECTED.
11. ALL RECEPTACLES LOCATED IN CHILD-CARE FACILITIES, DWELLING UNITS, HOTEL/MOTEL GUEST ROOMS, PEDIATRIC CLINICS OR PEDIATRIC CARE AREAS, AND OTHER AREAS AS REQUIRED BY NEC AND LOCAL CODE REQUIREMENTS SHALL BE TAMPER RESISTANT.
12. WHEN ELECTRICAL BOXES ARE LOCATED IN VERTICAL FIRE-RESISTIVE ASSEMBLIES, THEY SHALL BE INSTALLED WITHOUT AFFECTING THE FIRE CLASSIFICATION. ALL OF THE FOLLOWING CONDITIONS SHALL BE MET:
 - A. ALL ELECTRICAL BOXES SHALL BE METALLIC.
 - B. BOX OPENING SHALL OCCUR ONLY ON ONE SIDE OF FRAMING SPACE.
 - C. BOX OPENING SHALL NOT EXCEED 16 SQUARE INCHES.
 - D. ALL CLEARANCES BETWEEN OUTLET BOX AND GYPSUM BOARD SHALL BE COMPLETELY FILLED WITH JOINT COMPOUND (OR OTHER APPROVED MATERIAL).
 - E. PROVIDE A WALL AROUND OUTLETS LARGER THAN 16 SQUARE INCHES. THE INTEGRITY OF THE WALL RATING SHALL BE MAINTAINED.
 - F. THE TOTAL AGGREGATE SURFACE AREA OF THE BOXES SHALL NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET.
 - G. OUTLET BOXES LOCATED ON OPPOSITE SIDES OF FIRE RESISTIVE ASSEMBLIES SHALL BE SEPARATED BY A MINIMUM HORIZONTAL DISTANCE OF 24 INCHES.
 - H. OUTLET BOXES SHALL BE SECURELY FASTENED TO WALL FRAMING MEMBERS.
 - I. THE OPENING IN THE GYPSUM BOARD FACING SHALL BE CUT NOT TO EXCEED 1/8 INCH BETWEEN THE EDGES OF THE

8. PROVIDE SURGE PROTECTION DEVICE FOR ALL MAIN SERVICE EQUIPMENT, PANELBOARDS SERVING SENSITIVE ELECTRONIC EQUIPMENT (DATA RACKS) OR COMPUTERS, EMERGENCY SWITCHBOARDS AND PANELBOARDS, LIGHTING PANELS SERVING EXTERIOR LIGHTING, POWER CIRCUITS OR LOW VOLTAGE (FIRE ALARM, TELECOMMUNICATIONS) EXITING THE BUILDING. PROVIDE MINIMUM 30A/3P BREAKER IN BRANCH CIRCUIT PANELBOARDS AND 60A/3P IN DISTRIBUTION PANELBOARDS OR SWITCHBOARDS, UNLESS NOTED OTHERWISE, OR PER THE SPD MANUFACTURER'S RECOMMENDATIONS FOR SURGE PROTECTION DEVICE.

9. PROVIDE ARC ENERGY REDUCING MAINTENANCE SWITCH FOR ANY BREAKER RATED (OR ABLE TO BE ADJUSTED TO) 1200A OR HIGHER UNLESS OTHER ARC ENERGY REDUCTION MEANS MEETING NEC 240.87 IS INDICATED ON DRAWINGS/SPECIFICATIONS OR OTHERWISE PROVIDED.

LIGHTING:

1. LIGHT FIXTURES SUPPORTED BY CEILING GRID SHALL BE SUPPORTED AS FOLLOWS:
 - 10 POUNDS SHALL HAVE 12-GAUGE HANGER WIRE CONNECTED FROM THE LIGHT FIXTURES WEIGHING 10 POUNDS OR MORE SHALL HAVE (2) 12-GAUGE HANGER WIRE TO THE LIGHT FIXTURE TO THE STRUCTURE ABOVE.
 - COORDINATE EXACT LOCATIONS OF LIGHT FIXTURES IN LAY-IN AND GYPBOARD V-C EILING PLANS, AND WALL MOUNTED EXTERIOR AND INTERIOR LIGHT FIXTURES V-C INSTALLATION. WHERE THE QUANTITY OF LIGHTS DIFFERS BETWEEN THE ARCHITECT LIGHTING PLANS, PROVIDE THE HIGHEST QUANTITY OF FIXTURES IN THE BID PRIOR TO BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. THE HIGHEST QUANTITY ROOM OR AREA LIGHTING CIRCUITS AND LIGHTING CONTROL DEVICES, UNLESS C O R ARCHITECT/ENGINEER.
3. VERIFY ACTUAL CEILING CONSTRUCTION TYPE AS DEFINED ON THE ARCHITECTURAL PLANS WITH THE CORRECT MOUNTING DEVICES WHETHER OR NOT SUCH VAF FIXTURE CATALOG NUMBER. VERIFY THE DEPTH OF ALL RECESSED LIGHT FIXTURE PRIOR TO ORDERING LIGHT FIXTURES. ANY DISCREPANCIES THAT WOULD CAUSE INTO CEILING SHALL BE REPORTED TO ARCHITECT/ENGINEER PRIOR TO ORDERING LIGHT FIXTURES RECESSED IN FIRE-RATED CEILINGS SHALL BE PROVIDED WITH A FIRE RATING EQUAL TO THAT OF THE CEILING. PROVIDE A MINIMUM OF 3" CLEARANCE LIGHT FIXTURES.
5. MODIFY ALL LIGHT FIXTURE CATALOG NUMBERS AS REQUIRED TO COORDINATE VOLTAGES INDICATED. COORDINATE THE CATALOG NUMBERS WITH THE EXACT VOLTAGE THE CEILING IN WHICH EACH FIXTURE IS BEING INSTALLED.
6. ALL LIGHT FIXTURES SHALL BE PROVIDED COMPLETE WITH LAMPS, UNLESS OTHERWISE INDICATED. LIGHT FIXTURES INDICATED WITH UNSWITCHED CIRCUIT (NIGHT FIXTURES WITH INTEGRAL BATTERY PACKS, AND BATTERY PACKS INTEGRAL TO LIGHTING OR LIGHTING CONTROLS.
8. PROVIDE UL WET LABEL OR IP67 RATED LIGHT FIXTURES FOR ALL FIXTURES LOCATED IN SHOWERS, OR OPEN STRUCTURES.



2L2, 8, 10

2L2, 8, 10

2L2, 8, 10

EXISTING POLE MOUNTED SIGN TO REMAIN. EXTEND EXISTING CIRCUITING TO NEW PANEL.

EXISTING SIGN LIGHTING TO REMAIN. EXTEND EXISTING CIRCUITING TO NEW PANEL. TYPICAL

2L2, 9, 11

2L2, 9, 11

2L2, 9, 11

2L2, 9, 11

2L2, 9, 11

2L2, 9, 11

EXISTING GROUND MOUNTED FLOOD LIGHT TO REMAIN. EXISTING CIRCUITING TO BE DEMOLISHED. EXISTING CONDUIT TO REMAIN FOR REUSE. TYPICAL

TRANSFORMER

9

8

7

6.4

6

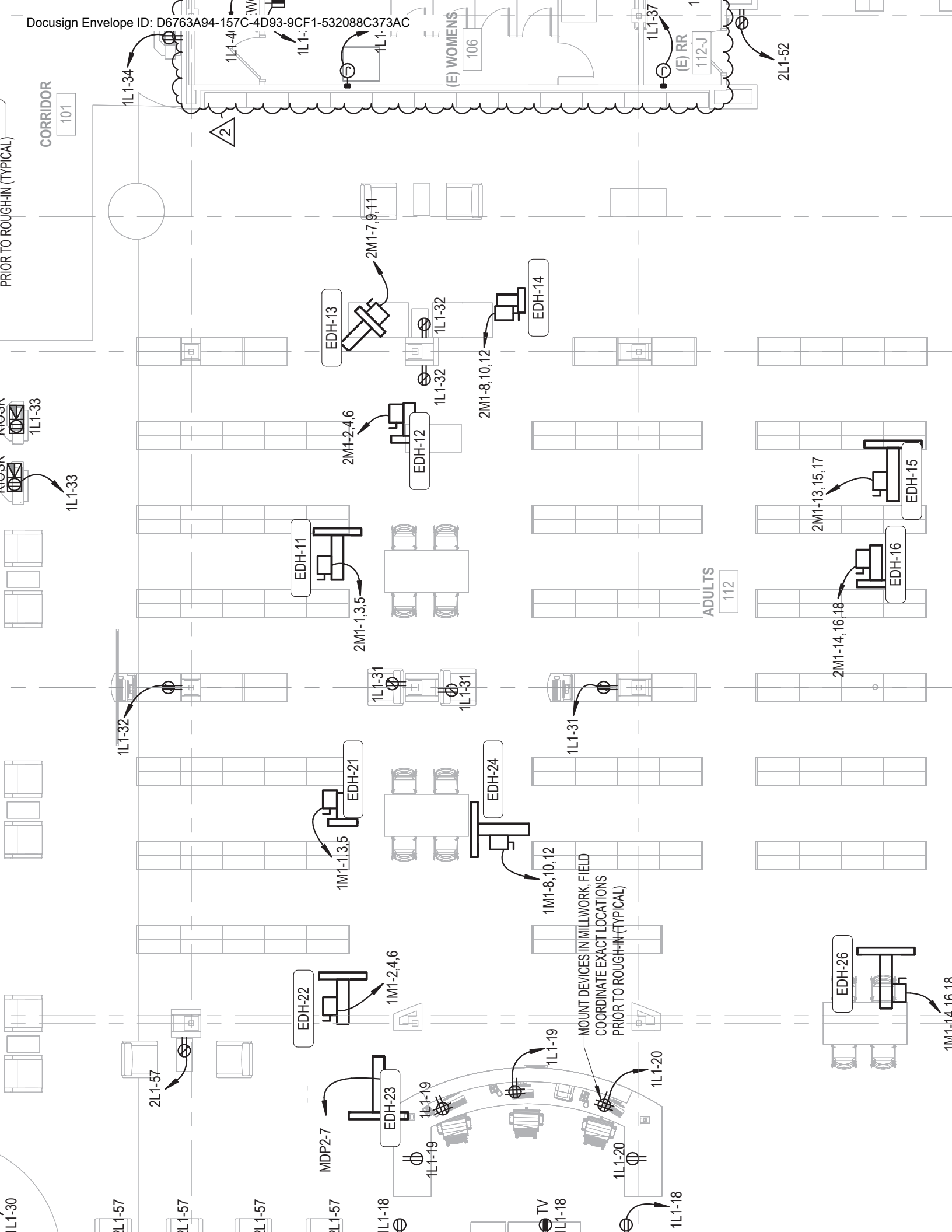
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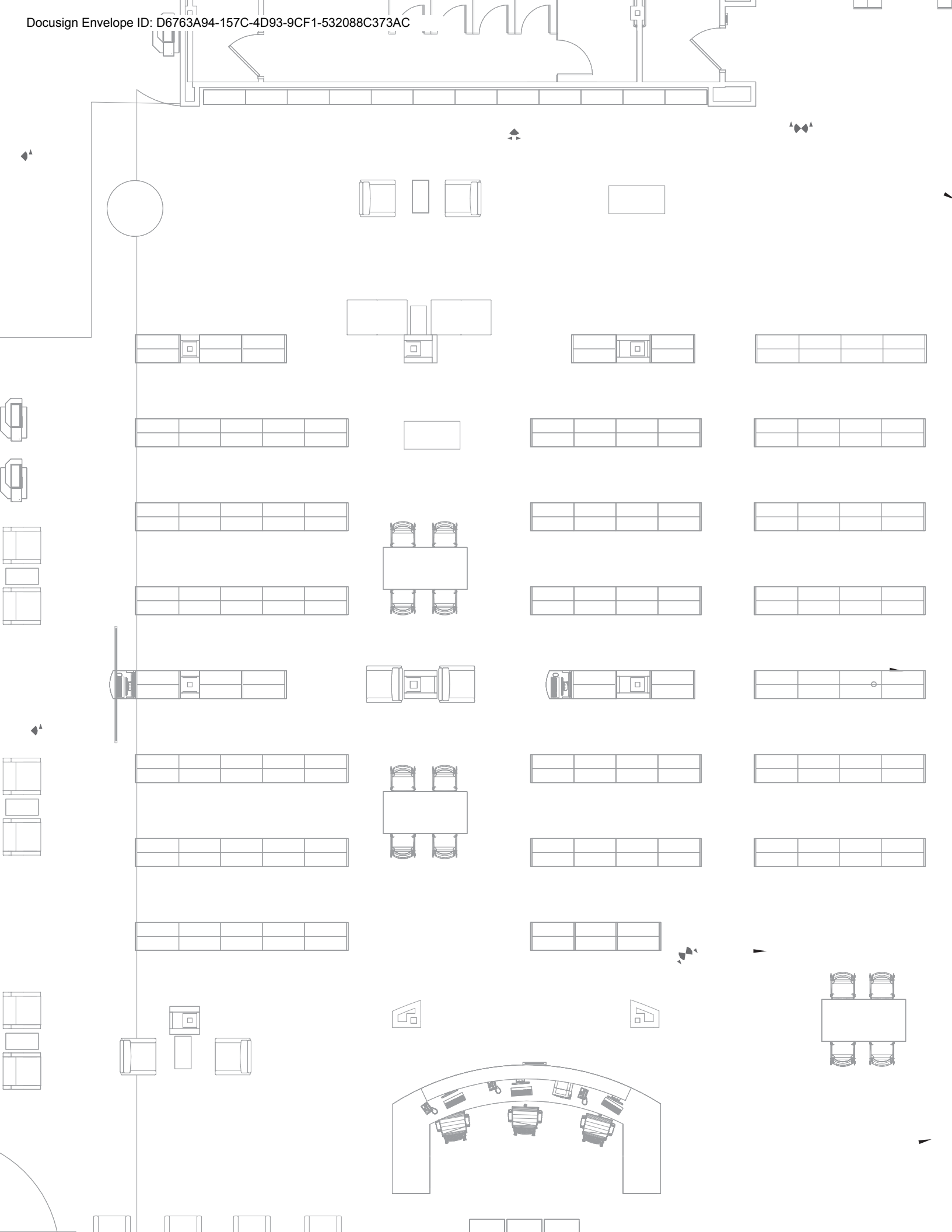
3

2

1

LIVE PIT TO REMAIN. DEMOLISHED. FOR REUSE.







AGENDA ITEM REPORT

DATE: September 3, 2024
DEPARTMENT: Facilities Construction and Management
REQUESTER: Ehab Guirguis
TITLE: Approve Contract for Construction Services for South County Regional Library Renovations

I. MOTION REQUESTED

- A) Approve Construction Manager Services Agreement with Chris-Tel Company of Southwest Florida Inc, under Solicitation No. CMR220546NAT Annual Construction Manager at Risk Contract, authorizing construction services for the South County Regional Library Renovation and establishing the Guaranteed Maximum Price (GMP) in the amount of \$9,227,450.00.
- B) Authorize the Chair to execute the contract documents on behalf of the Board of County Commissioners.

II. ITEM SUMMARY

Approves a construction contract with Chris-Tel Company of Southwest Florida Inc. to renovate the South County Regional Library in the amount of \$9,227,450.00.

The South County Regional Library became the County’s first regional library in 1996. Due to the age and configuration of the facility, renovations are needed to meet the current needs of the community. The entire building will be renovated with new finishes and interior layouts, upgraded building systems, an automated material handler, and replacement of the main mechanical equipment including the main chiller and electrical vault equipment. A new roof will also be installed.

The total cost to renovate the South County Regional Library is \$10,913,503 which includes \$9,227,450 for construction, \$741,000 for design, \$40,314 for pre-construction services, \$320,715 for the County to purchase information technology (IT) equipment, \$425,075 for furniture and equipment and \$158,949 for miscellaneous costs.

This planned and budgeted project will be funded through Library Ad Valorem Funding.

III. BACKGROUND AND IMPLICATIONS OF ACTION

A) Board Action and Other History

On August 6, 2021, Procurement Management advertised a solicitation for professional services to provide design for the South County Regional Library. When proposals were opened, four (4) proposals were received, including one from BSSW Architects, Inc. (BSSW). After evaluations were held, the committee motioned and carried on moving forward with the top-ranked firm, BSSW. Facilities Construction and Management began negotiations with the awarded firm.

On August 6, 2021, Procurement Management advertised a solicitation for a Construction Manager at Risk for the South County Regional Library Renovation Project. At the time of opening on September 7, 2021, ten (10) proposals had been received, including one from Chris-Tel.

Evaluation 1 was held on September 28, 2021. The evaluation committee discussed the pros and cons of each proposal. Following the discussion, the committee individually scored each proposal received. Once scored, Procurement Management tallied all scores in order to rank the proposing firms. When rankings were complete, the committee motioned to move four (4) proposing firms to evaluation 2. The motion was carried by the remaining committee members.

Evaluation 2 was held on October 22, 2021, where the evaluation committee saw presentations and had a question-and-answer session with the four top firms individually. Once all proposers had presented, the committee members discussed the presentations and individually ranked each proposer. When all rankings were tallied, Chris-Tel was the top ranked firm. The committee motioned and carried on moving into negotiations with Chris-Tel, the top-ranked firm.

On February 15, 2022, the Board of the County Commissioners awarded a contract to BSSW Architects, Inc. (BSSW) for architectural services for renovations to the South County Regional Library in the amount of \$875,890.00, which was later revised through a change order to \$741,000.00.

Facilities Construction and Management negotiated pre-construction services and fees. This was presented to Procurement Management for contract production. The pre-construction agreement was administratively executed on March 22, 2022.

During the pre-construction phase, Chris-Tel worked with the design firm to provide cost estimation, value engineering, buildability, and other services. When the design was complete, Chris-Tel bid out the work to produce a Guaranteed Maximum price to complete this project.

B) Policy Issues

C) BoCC Goals

D) Analysis

The South County Regional Library in Estero is the first regional library, opened in 1996. The renovations include interior, exterior, mechanical, and technological upgrades to the one-story, 32,343-square-foot facility.

The interior renovations will help maximize usable space without expanding the building's footprint, while upgrades to mechanical, electrical, and plumbing systems will bring the facility to current operating standards. The project will also include the installation of an automated material handler to process and sort materials after they are returned to the library. Additionally, the exterior renovations include the roof replacement, as well as the renovation of the main entrance to the library. The remodeled space will be furnished with new modular furniture, tables and chairs.

E) Options

IV. FINANCIAL INFORMATION

A)	Current year dollar amount of item:	\$9,227,450
B)	Is this item approved in the current budget?	Yes
C)	Is this a revenue or expense item?	Expense
D)	Is this Discretionary or Mandatory?	Discretionary
E)	Will this item impact future budgets? If yes, please include reasons in III(D) above.	No
F)	Fund: Library Capital Improvement Fund Program: Capital Improvement Program Project: South County Regional Library Renovation Account Strings: 20070734800	
G)	Fund Type?	Other: Library Fund
H)	Comments: Total project cost: \$10,913,503 <ul style="list-style-type: none"> • \$9,227,450 - Construction • \$741,000 - Design • \$40,314 - Pre-construction services • \$320,715 - Information technology (IT) equipment • \$425,075 - Furniture and equipment • \$158,949 - Miscellaneous costs 	

V. RECOMMENDATION

Approve

VI. TIMING/IMPLEMENTATION

It will take approximately twelve months to complete the renovation of the South County Regional Library.

VII. FOLLOW UP

ATTACHMENTS:

Description	Upload Date	Type
Vendor Agreement	8/23/2024	Cover Memo

REVIEWERS:

Department	Reviewer	Action	Date
Facilities Construction and Management	Tucker, Mary	Approved	8/26/2024 - 9:26 AM
Facilities Construction and Management	Simon, Mindi	Approved	8/26/2024 - 9:49 AM
Facilities Construction and Management	Guirguis, Ehab	Approved	8/26/2024 - 10:04 AM
Budget Services	Guttery, Angela	Approved	8/27/2024 - 12:58 PM
Budget Services	Winton, Peter	Approved	8/27/2024 - 1:20 PM
County Attorney	Swindle, Amanda	Approved	8/27/2024 - 2:19 PM
County Manager	Codie, Robert	Approved	8/27/2024 - 3:00 PM



Lee County Procurement Management Department
2115 Second Street 1st Floor
Fort Myers, FL 33901
Main Line: (239) 533-8881
Fax Line: (239) 485-8383
www.leegov.com/procurement

Date: April 13, 2022

Solicitation No.: CMR210460BAG

Solicitation Name: South County Regional Library Renovation - Construction Manager at Risk

Subject: NOTICE TO PROCEED – Precon (9436)

To: Chris-Tel Company of Southwest Florida, Inc.,
Attn: Howard Wheeler
2534-A Edison Avenue
Fort Myers, FL 33901

You are hereby notified to commence work in accordance with the Agreement effective March 22, 2022, on or before April 20, 2022, and you are to complete the work within 330 consecutive calendar days thereafter. The date of completion of all work is therefore Thursday, March 16, 2023. All work shall be completed in accordance with the Agreement.

Acceptance of Notice:
Receipt of the above Notice to Proceed is hereby acknowledged:

Prime Vendor:

Lee County:

[Handwritten signature of Prime Vendor]
Signature

[Handwritten signature of Lee County]
Signature of Authorized Official

President
Title

Procurement Manager
Title

April 14, 2022
Date

April 13, 2022
Date

Certificate Of Completion

Envelope Id: D6763A94157C4D939CF1532088C373AC Status: Completed
Subject: Board Approved-Routing-#CMR210460BAG-9436 Chris-Tel-S County Regional Renovation-GMP
Source Envelope:
Document Pages: 72 Signatures: 3 Envelope Originator:
Supplemental Document Pages: 80 Initials: 0 Connie Prevatte
Certificate Pages: 5
AutoNav: Enabled Stamps: 1 2115 Second St, First Floor
Envelopeld Stamping: Enabled Fort Meyers, FL 33901
Time Zone: (UTC-05:00) Eastern Time (US & cprevatte@leegov.com
Canada) IP Address: 208.89.76.205

Record Tracking

Status: Original Holder: Connie Prevatte Location: DocuSign
9/6/2024 9:02:07 AM cprevatte@leegov.com

Signer Events

Risk
risk@leegov.com
Risk Program Manager
Self-Insured
Signing Group: Risk Management
Security Level: Email, Account Authentication (None)

Electronic Record and Signature Disclosure:
Not Offered via DocuSign

Amanda L. Swindle
aswindle@leegov.com
Senior Assistant County Attorney
Security Level: Email, Account Authentication (None)

Signature

Completed

Using IP Address: 208.89.76.207

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Amanda L. Swindle
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Signature Adoption: Pre-selected Style
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Mike Greenwell
dist5@leegov.com
Chair
Signing Group: District 5 - Chairman
Security Level: Email, Account Authentication (None)

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Rachael Rumer
Rumer@leeclerk.org
Deputy Clerk
Lee Clerk
Signing Group: Minutes
Security Level: Email, Account Authentication (None)

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Signed by:
Rachael Rumer
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Agent Delivery Events	Status	Timestamp
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Intermediary Delivery Events	Status	Timestamp
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Certified Delivery Events	Status	Timestamp
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Carbon Copy Events	Status	Timestamp
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Erica Temerario
etemerario@leegov.com
Lauren Schaefer
lschaefer@leegov.com
Tina Boone
tboone@leegov.com
Legal Administrative Specialist, Sr
Lee County BoCC
Signing Group: County Attorney's Office
Security Level: Email, Account Authentication
(None)

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Electronic Record and Signature Disclosure:
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Connie Prevatte
cprevatte@leegov.com
Security Level: Email, Account Authentication
(None)

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Notary Events	Signature	Timestamp
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Completed	Security Checked	9/11/2024 12:11:22 PM

Payment Events	Status	Timestamps
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Electronic Record and Signature Disclosure
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Withdrawing your consent

If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

Consequences of changing your mind

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. Further, you will no longer be able to use the DocuSign system to receive required notices and consents electronically from us or to sign electronically documents from us.

All notices and disclosures will be sent to you electronically

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through the DocuSign system all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures electronically from us.

How to contact Lee County BOCC-Procurement Management:

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: mpatterson@leegov.com

To advise Lee County BOCC-Procurement Management of your new email address

To let us know of a change in your email address where we should send notices and disclosures electronically to you, you must send an email message to us at mpatterson@leegov.com and in the body of such request you must state: your previous email address, your new email address. We do not require any other information from you to change your email address.

If you created a DocuSign account, you may update it with your new email address through your account preferences.

To request paper copies from Lee County BOCC-Procurement Management

To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an email to mpatterson@leegov.com and in the body of such request you must state your email address, full name, mailing address, and telephone number. We will bill you for any fees at that time, if any.

To withdraw your consent with Lee County BOCC-Procurement Management

To inform us that you no longer wish to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your signing session, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;
- ii. send us an email to mpatterson@leegov.com and in the body of such request you must state your email, full name, mailing address, and telephone number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

Required hardware and software

The minimum system requirements for using the DocuSign system may change over time. The current system requirements are found here: <https://support.docusign.com/guides/signer-guide-signing-system-requirements>.

Acknowledging your access and consent to receive and sign documents electronically

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please confirm that you have read this ERSD, and (i) that you are able to print on paper or electronically save this ERSD for your future reference and access; or (ii) that you are able to email this ERSD to an email address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format as described herein, then select the check-box next to ‘I agree to use electronic records and signatures’ before clicking ‘CONTINUE’ within the DocuSign system.

By selecting the check-box next to ‘I agree to use electronic records and signatures’, you confirm that:

- You can access and read this Electronic Record and Signature Disclosure; and
- You can print on paper this Electronic Record and Signature Disclosure, or save or send this Electronic Record and Disclosure to a location where you can print it, for future reference and access; and
- Until or unless you notify Lee County BOCC-Procurement Management as described above, you consent to receive exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you by Lee County BOCC-Procurement Management during the course of your relationship with Lee County BOCC-Procurement Management.